

JERNIGAN ESTATES

545 JERNIGAN ROAD

TOWN OF COPPER CANYON

DENTON COUNTY, TOWN OF COPPER CANYON

JERNIGAN ESTATES

LOT 1-7X

in the

T&P R.R. CO. SURVEY, ABSTRACT NO. 1304

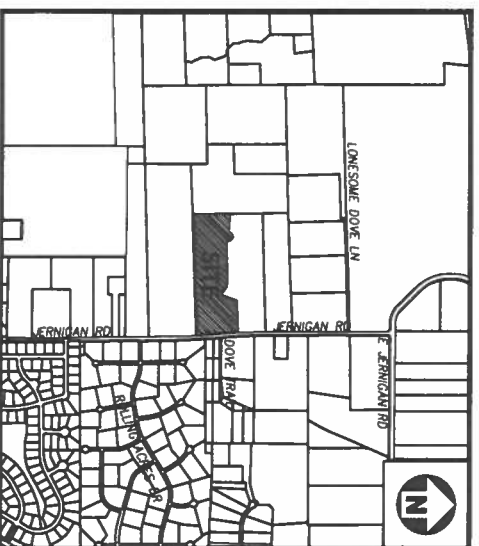
13.165 ACRES

ZONING: R2

PRELIMINARY PLAT

PROJECT NUMBER: PRB-23001

DATE: MARCH 04, 2024



VICINITY MAP
1"=1000'

| SHEET NUMBER | SHEET TITLE |
|--------------|---|
| 00.00 | COVER SHEET |
| 00.01 | PROJECT NOTES |
| 00.02 | PRELIMINARY PLAT |
| 01.00 | EXISTING CONDITIONS |
| 01.01 | DEADEND PLAN |
| 02.00 | SITE, STORMWATER, STORAGE & DIMENSION PLAN |
| 03.00 | OVERALL GRADING PLAN |
| 03.01 | EXISTING DRAINAGE AREA MAP |
| 03.02 | PROPOSED DRAINAGE AREA MAP |
| 03.03 | GRADING PLAN |
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| 03.05 | GRADING PLAN |
| 03.06 | GRADING PLAN |
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| 03.08 | STREET AND CHANNEL CROSS-SECTIONS |
| 03.09 | POND GRADING PLAN |
| 04.00 | OVERALL WATER PLAN |
| 04.01 | WATER PLAN |
| 08.00 | EROSION CONTROL PLAN |
| 08.01 | EROSION CONTROL DETAILS |
| 08.10 | PAVEMENT & SIGNAGE STANDARD DETAILS |
| 08.20 | WATER STANDARD DETAILS |
| 08.30 | STORM DRAIN STANDARD DETAILS |
| 08.40 | EROSION CONTROL STANDARD DETAILS |
| 08.50 | SIGNING DETAILS AND TRAFFIC CONTROL NOTES |
| 08.50 | LOCAL RESIDENTIAL PAVEMENT & PAVEMENT MARGINS |

Sheet List Table



MCADAMS

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4931 LONG PRAIRIE ROAD, SUITE 200
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MICHAEL CANNADAY

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DARREN ANDREWS
DANDREWS@MCADAMSCO.COM
PHONE: 972.310.7328

PROJECT DIRECTORY



03/04/2024

REVISIONS

NO. DATE DESCRIPTION

PRELIMINARY PLAT FOR:

JERNIGAN ESTATES
TOWN OF COPPER CANYON, TEXAS, 75077
PROJECT NUMBER: PRB 23001

PRELIMINARY DRAWING - RELEASED FOR CONSTRUCTION



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MICHAEL CANNADAY

JERNIGAN ESTATES
CONCEPTUAL PLAN
545 JERNIGAN ROAD
TOWN OF COPPER CANYON,
DENTON COUNTY, TEXAS, 75077



| NO. | DATE | DESCRIPTION |
|------------|------|-------------|
| 03/04/2024 | | |

| PLAN INFORMATION | |
|------------------|------------------|
| PROJECT NO. | PBB-23001 |
| FILENAME | PBB23001-CS1.DWG |
| CHECKED BY | DAW |
| DRAWN BY | RC |
| SCALE | N/A |
| DATE | 03.04.2024 |

| PROJECT NOTES | |
|---------------|--|
| SHEET | |

C0.01

PRELIMINARY DRAWING - RELEASED FOR CONSTRUCTION

TEST RESULTS SHALL BE FURNISHED TO THE MUNICIPALITY. IN THE EVENT PAVING OPERATIONS HAVE NOT COMMENCED WITHIN THE SEVENTY-TWO (72) HOUR LIMIT, A RETEST SHALL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

4. MANHOLE RIM ELEVATIONS, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC. SHALL BE ADJUSTED TO FINISHED GRADE BY THE PAVING CONTRACTOR AT THE TIME OF PAVING.

5. THE PAVING CONTRACTOR SHALL INSTALL A BLUE REFLECTOR IN THE STREET OR FIRE LANE CENTERLINE AT THE LOCATION OF EACH FIRE HYDRANT.

6. THE CONTRACTOR SHALL PREPARE ALL TRAFFIC CONTROL PLANS AND SUBMIT TO THE MUNICIPALITY PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS FOR WORK WITHIN THE MUNICIPALITY. THE PLAN SHALL BE PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE M.U.T.C.D. AND AS MODIFIED BY THE TxDOT SUPPLEMENT TO THE M.U.T.C.D. THE PLAN SHALL ADDRESS THE REQUIREMENTS FOR ALL SIGNS, BARRICADES, FLAGMEN, LIGHTS, HOURS OF CONSTRUCTION, AND OTHER DEVICES AS NECESSARY FOR SAFE TRAFFIC CONTROL.

GENERAL NOTES FOR SANITARY SEWER IMPROVEMENTS

1. SANITARY SEWER PVC PIPE SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
2. AFTER COMPLETION OF ALL SANITARY SEWER TESTING (I.E. MANHOLE AND AIR) CONTRACTOR SHALL PERFORM A TELEVISION INSPECTION AND PROVIDE A VIDEOTAPE TO THE MUNICIPALITY. ALL MANHOLES SHALL BE VACUUM TESTED.
3. ONE JOINT OF 150-PSI PRESSURE RATED PIPE SHALL BE INSTALLED AND CENTERED UNDER ALL PROPOSED WATER PIPE CROSSINGS.
4. CONTRACTOR TO PLACE A 3/4" PLYWOOD FALSE BOTTOM IN ALL SANITARY SEWER MANHOLES BEFORE PAVING CONTRACTOR BEGINS WORK.
5. ANY CONNECTION TIE-IN TO AN EXISTING MANHOLE MUST BE CORED.
6. ALL CLEAN-OUTS TO BE PROVIDED PER MUNICIPAL REQUIREMENTS.

TEXAS ACCESSIBILITY STANDARDS/AMERICAN WITH DISABILITIES ACT REQUIREMENTS

1. THE MAXIMUM ALLOWED GROSS SLOPE ON ANY PROPOSED SIDEWALK OR TRAIL IS 2%.
2. THE MAXIMUM ALLOWED PATH OF TRAVEL SLOPE IS 5%, UNLESS OTHERWISE NOTED ON THESE PLANS. ANY SLOPE GREATER THEN 5%, AND LESS THAN 8.25%, MUST HAVE HANDRAILS. NO SLOPE GREATER THAN 8.25% SHALL BE ALLOWED.
3. SLOPES BETWEEN 5% AND 8.25% ARE CONSIDERED RAMPS. NO RAMP CAN EXCEED 30' IN LENGTH AND NO RAMP CAN EXCEED A GRADE CHANGE OF MORE THAN 2'-6". LANDINGS ARE REQUIRED IF EITHER OF THESE ARE EXCEEDED.
4. LANDINGS MAY NOT EXCEED 2% SLOPE IN ANY DIRECTION.
5. BALUNES, IF REQUIRED, ARE TO EXTEND A MINIMUM OF 1' INTO THE LANDING AREA.
6. CURB RAMPS ARE REQUIRED AT THE END AT ALL CROSSWALKS. ALL CURB RAMPS ARE TO HAVE A MAXIMUM OF 6" OF RISE OVER THE 6' LENGTH OF THE RAMP. THE MAXIMUM ALLOWED GROSS SLOPE IS 2%.
7. TRUNCATED DOMES ARE TO BE INSTALLED AT THE BOTTOM OF EACH RAMP. THE DOMES ARE TO EXTEND THE FULL WIDTH OF THE PROPOSED RAMP AND MUST BE OF A CONTRASTING COLOR TO THE RAMP PAVEMENT. SIMILAR COLORS WILL NOT BE ACCEPTED.
8. ANY WALKWAY, SIDEWALK OR TRAIL, LESS THAN 5' IN WIDTH MUST HAVE A 5'X5' PASSING ZONE EVERY 200' OR LESS.
9. A PAVED ACCESSIBLE PARKING SPACE MUST INCLUDE:
 - 9.1. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED CONSPICUOUSLY ON THE SURFACE IN A COLOR THAT CONTRASTS THE PAVEMENT;
 - 9.2. THE WORDS "NO PARKING" PAINTED ON ANY SURFACE AISLE ADJACENT TO THE PARKING SPACE. THE WORDS MUST BE PAINTED:
 - 9.2.1. IN ALL CAPITAL LETTERS
 - 9.2.2. WITH A LETTER HEIGHT OF AT LEAST 12 INCHES AND A STROKE WIDTH OF AT LEAST 2 INCHES; AND
 - 9.2.3. CENTERED WITHIN EACH ACCESS AISLE ADJACENT TO THE PARKING SPACE; AND
 - 9.3. A SIGN IDENTIFYING THE CONSEQUENCES OF PARKING ILLEGALLY IN A PAVED ACCESSIBLE SPACE. THE SIGN MUST:
 - 9.3.1. AT A MINIMUM STATE "VIOLATORS SUBJECT TO FINE AND TOWING" IN A LETTER HEIGHT OF AT LEAST ONE INCH;
 - 9.3.2. BE MOUNTED ON A POLE, POST, WALL OR FREE STANDING BOARD;
 - 9.3.3. BE NO MORE THAN EIGHT INCHES BELOW A SIGN REQUIRED BY THE TEXAS ACCESSIBILITY STANDARDS, 502.6; AND
 - 9.3.4. BE INSTALLED SO THAT THE BOTTOM EDGE OF THE SIGN IS NO LOWER THAN 48 INCHES AND NO HIGHER THAN 80 INCHES ABOVE GROUND LEVEL.

TOWN OF COPPER CANYON UTILITY CONTACTS

| | |
|----------------------------|----------------|
| CROSS TIMBERS WATER SUP | (940) 584-0780 |
| BILL DING INSPECTIONS DEPT | (214) 957-7188 |
| CO-SEWER | (800) 274-4014 |
| TU GAS COM | (800) 460-5030 |
| ID CABIT | (972) 539-0053 |
| FRONTIER | (800) 921-8101 |
| GRANDE COMMUNICATIONS | (877) 238-6891 |
| TU GAS COMPLAINT | (800) 460-5030 |
| REPUBLIC WASTE SERVICES | (469) 451-5771 |

GENERAL NOTES:

1. THE TERM MUNICIPALITY REFERS TO THE TOWN OF COPPER CANYON.
2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE MUNICIPALITY AND SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD DETAILS AND SPECIFICATIONS FOR CONSTRUCTION. ALL WORK NOT COVERED IN THE CONTRACT DOCUMENTS AND MUNICIPAL STANDARD DETAILS AND SPECIFICATIONS FOR CONSTRUCTION SHALL BE GOVERNED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENT STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. EXISTING UTILITY LOCATIONS SHOWN ARE GENERALLY SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT THE SIZE AND LOCATION OF EACH PARTICULAR UTILITY. EXISTING UTILITIES SHOWN HAVE BEEN BASED ON AVAILABLE RECORD DRAWINGS AND SURFACE APPURTENANCE FIELD TIES ONLY. SOME UTILITY LINES AND SURFACE LOCATIONS MAY NOT BE SHOWN. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ACTUAL FIELD LOCATIONS AND PROTECTION OF EXISTING UTILITIES WHETHER SHOWN OR NOT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR REPAIRS TO EXISTING UTILITIES WHETHER SHOWN OR NOT, DAMAGED BY THE CONTRACTOR'S ACTIVITIES, DIFFERENCES IN HORIZONTAL OR VERTICAL LOCATIONS OF EXISTING UTILITIES SHALL NOT BE BASIS FOR ADDITIONAL COMPENSATIONS TO THE CONTRACTOR.
4. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY MONUMENTATION AND PRIMARY CONTROL. ANY SUCH POINTS WHICH THE CONTRACTOR BELIEVES WILL BE DESTROYED SHALL HAVE OFFSET POINTS ESTABLISHED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY MONUMENTATION DESTROYED BY THE CONTRACTOR SHALL BE REESTABLISHED AT CONTRACTOR'S EXPENSE BY A REGISTERED PROFESSIONAL LAND SURVEYOR.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO: A.) PREVENT ANY DAMAGES TO PRIVATE PROPERTY AND PROPERTY OWNERS' POLES, FENCES, SHRUBS, ETC. B.) PROTECT ALL UNDERGROUND UTILITIES. C.) NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO EXCAVATION IN ACCORDANCE WITH TEXAS LAW. D.) FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES IN THE VICINITY OF CONSTRUCTION ACTIVITIES PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNIDENTIFIED POTENTIAL CONFLICTS THAT MAY EXIST BETWEEN THE EXISTING UTILITIES AND CONSTRUCTION PLANS.
6. ANY DAMAGES THAT MAY OCCUR TO REAL PROPERTY OR EXISTING IMPROVEMENTS, INCLUDING EXISTING PRIVATE AND PUBLIC LANDSCAPE IRRIGATION SYSTEMS, SHALL BE RESTORED BY THE CONTRACTOR TO AT LEAST THE SAME CONDITION THAT THE REAL PROPERTY OR EXISTING IMPROVEMENT WERE IN PRIOR TO THE DAMAGES. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR THE ADJUSTMENT OF SPRINKLER HEADS TO FINAL GRADE AND RELOCATION IF NECESSARY.
7. THE CONTRACTOR SHALL MAINTAIN DRAINAGE AT ALL TIMES DURING CONSTRUCTION. THE PONDING OF WATER IN STREETS, DRIVES, TRENCHES, ETC. WILL NOT BE ALLOWED. THE CONTRACTOR SHALL MAINTAIN EXISTING DRIVEWAYS ACCESS AT ALL TIME.
8. THE CONTRACTOR SHALL MAINTAIN EXISTING SANITARY SEWER AND WATER SERVICES AT ALL TIMES DURING CONSTRUCTION.
9. AREAS OF THE SITE THAT WILL UNDERLIE FILL SHALL BE SCARRIFIED TO A DEPTH OF 8 INCHES. FILL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8 INCHES IN UNCOMPACTED THICKNESS. ALL FILL MATERIAL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY WITH A MOISTURE CONTENT FROM -3% TO +1% OF OPTIMUM OR PER GEOTECH RECOMMENDATION. FIELD DENSITY TESTS PER MUNICIPAL REQUIREMENTS.
10. THE CONTRACTOR SHALL ABIDE BY ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS GOVERNING EXCAVATION. THE CONTRACTOR SHALL PROVIDE DETAILED PLANS AND SPECIFICATION FOR TRENCH SAFETY SYSTEMS THAT COMPLY WITH APPLICABLE LAWS GOVERNING EXCAVATION. THESE PLANS SHALL BE SEALED BY AN ENGINEER EXPERIENCED IN THE DESIGN OF TRENCH SAFETY SYSTEM, REGISTERED IN THE STATE OF TEXAS. THE CONTRACTOR SHALL SUBMIT COMPLETED TRENCH SAFETY PLANS TO THE MUNICIPALITY PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASPECTS OF WORK RELATED TO EXCAVATION. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OSHA, "CONSTRUCTION SAFETY AND HEALTH REGULATIONS".
11. WORK MAY NOT BE BACKFILLED OR COVERED UNTIL IT HAS BEEN INSPECTED BY THE MUNICIPALITY.
12. ALL EXCAVATION ON THE PROJECT IS UNCLASSIFIED.
13. ALL CURB AND GUTTER SHALL BE INTEGRAL WITH THE CONCRETE PAVEMENT.
14. CONTRACTOR SHALL COORDINATE THE PROTECTION OF EXISTING FRANCHISE UTILITIES AND APPURTENANCES INCLUDING EXISTING UTILITY POLES IN THE VICINITY OF CONSTRUCTION OPERATIONS WHETHER UTILITIES ARE SHOWN ON PLANS OR NOT. ANY DAMAGE INCURRED TO EXISTING FRANCHISE UTILITIES, APPURTENANCES, UTILITY POLES, LIGHT STANDARDS, ETC., BY CONSTRUCTION RELATED ACTIVITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
15. THE CONTRACTOR SHALL LOCATE AND RECORD EXISTING IRRIGATION SYSTEMS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL TEMPORARILY REMOVE AND CAP IRRIGATION SYSTEM AS NECESSARY FOR CONSTRUCTION AND SHALL REPLACE THE PORTION REMOVED WITH EQUIVALENT SYSTEMS. CONTRACTOR SHALL COORDINATE ANY IRRIGATION WORK WITH THE MUNICIPALITY AND PROPERTY OWNERS REPRESENTATIVES.
16. THE CONTRACTOR MUST CEASE ALL CONSTRUCTION OPERATIONS IMMEDIATELY IF A SUSPECTED ARCHEOLOGICAL OBJECT/ARTIFACT IS UNCOVERED DURING CONSTRUCTION. THE CONTRACTOR MUST

IMMEDIATELY CONTACT THE TEXAS HISTORICAL COMMISSION AND THE MUNICIPALITY. PROJECT WORK WILL NOT COMMENCE UNTIL PROPER PERMITS ARE IN PLACE AND PROVIDED TO THE MUNICIPALITY.

17. ALL PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

18. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLIANCE WITH ALL HANDICAPPED ACCESSIBILITY REQUIREMENTS INCLUDING SIGNAGE, TEXTURES, COLORING, MARKINGS, AND SLOPES OF ADA/TAS 2012 ACCESSIBLE ROUTES & RAMPS; AND PARKING SPACES.

19. ALL PIPE LENGTHS MEASURED FROM STATION TO STATION BASED ON THE CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.

20. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES ARISE.

21. THE TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) MUST APPROVE ANY WORK TO BE DONE IN THE STATE HIGHWAY RIGHT-OF-WAY. AN APPLICATION AND APPROPRIATE PLANS MUST BE SUBMITTED DIRECTLY TO TxDOT FOR REVIEW AND APPROVED BY THE MUNICIPALITY WHERE THE WORK WILL BE PERFORMED.

22. THE LOCATION OF UNDERGROUND FACILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND FACILITIES. IF THE EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.

23. WHERE EXISTING UTILITIES, SERVICE LINES OR IRRIGATION LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES, SERVICE LINES OR IRRIGATION LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS. AT HIS OWN COST AND EXPENSE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENTS.

24. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS." VOL. 29, SUBPART P, PG. 128-137, AND ANY AMENDMENTS THERETO. THE CONTRACTOR SHALL PREPARE AND IMPLEMENT A TRENCH SAFETY PLAN FOR THIS PROJECT.

25. THE CONTRACTOR SHALL RESTORE ALL AREAS, ONSITE AND OFFSITE, DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO: TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE SWALES, STAGING AREAS, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS. UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE DRAWINGS, RESTORATION SHALL INCLUDE HYDROLOGICALLY ALL DISTURBED AREAS WITH A SLOPE OF LESS THAN 20% (1:5) AND SODDING AREAS WITH A SLOPE OF 20% (1:5) OR GREATER. ESTABLISHMENT OF GRASS THROUGH PROPER WATERING IS LEFT UP TO THE CONTRACTOR'S MEANS AND METHODS, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE/IRRIGATION DRAWINGS.

26. THE CONTRACTOR SHALL KEEP RECORDS FOR AS-BUILT'S DRAWINGS AND SHALL SUBMIT MARK-UPS TO THE MUNICIPALITY INSPECTOR PRIOR TO SCHEDULING A FINAL WALK THROUGH INSPECTION.

27. PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH REPRESENTATIVES FROM ALL CONTRACTORS, THE ENGINEER, AND THE MUNICIPALITY.

28. ALL CONSTRUCTION MUST ADHERE TO THE TREE PRESERVATION REQUIREMENTS OF THE MUNICIPALITY.

29. THE CONTRACTOR, AND HIS AGENTS, AND SUB-CONTRACTOR, ARE COMPLETELY RESPONSIBLE FOR THE VERIFICATION OF THE ACCURACY OF THE DIMENSION CONTROL, FURNISHED HEREIN. THE OWNER, ENGINEER AND THEIR AGENTS, ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE COORDINATES FURNISHED. THE CONTRACTOR IS REQUIRED TO VERIFY ALL COORDINATES FOR ACCURACY AND CONFIRM THE LOCATIONS OF ALL UTILITIES TO BE CONSTRUCTED, BOTH HORIZONTAL AND VERTICALLY. DISCREPANCIES FOUND BY THE CONTRACTOR SHALL BE REPORTED, IN WRITING, TO THE OWNER IMMEDIATELY FOR RECONCILIATION.

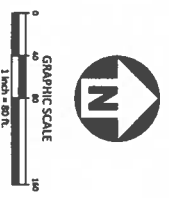
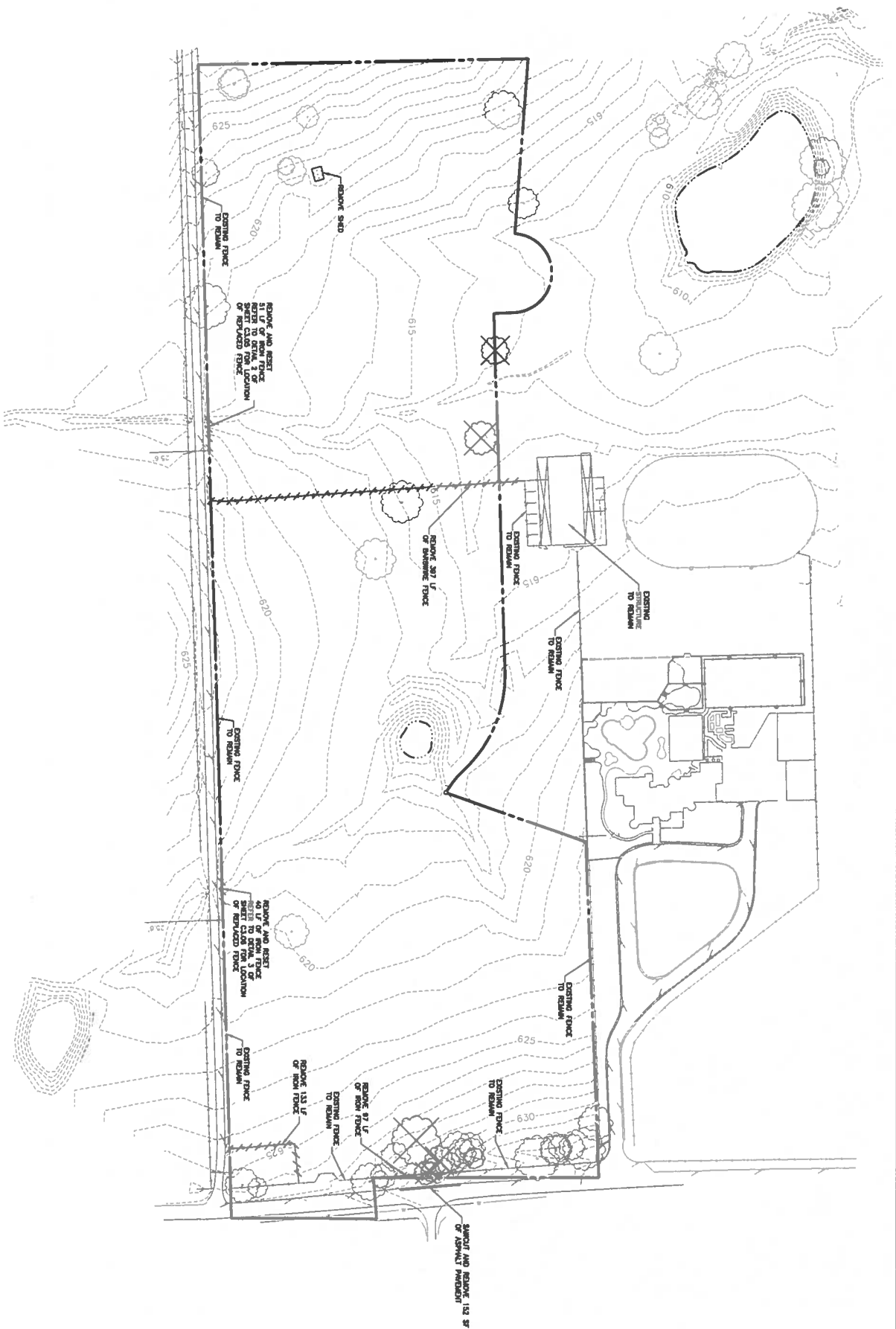
30. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIRED FOR THIS PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PREPARE, IMPLEMENT AND MAINTAIN THE SWPPP IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT TCEQ AND NPDES GENERAL PERMIT AS DESCRIBED IN THE FEDERAL REGISTER, PAGES 36489 THROUGH 36519.

GENERAL NOTES FOR WATER IMPROVEMENTS

1. ALL WATER LINES SHALL BE PVC PIPE CONFORMING TO A.W.W.A. STANDARD C-900 DR-18 MINIMUM, WITH NSF SEAL, PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH MUNICIPAL AND/OR MCTCGO STD. SPECS, UNLESS OTHERWISE NOTED WITHIN THE CONSTRUCTION PLANS.

GENERAL NOTES FOR PAVING IMPROVEMENTS

1. THE SUB GRADE SHALL BE PROOF ROLLED AND OBSERVED BY THE CONSTRUCTION INSPECTOR PRIOR TO AND AFTER SUB-GRADE STABILIZATION.
2. INDIVIDUAL WATER AND SEWER SERVICES AND WATER VALVES SHALL BE MARKED IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
3. THE CONTRACTOR SHALL PROCEED WITH PAVING NO MORE THAN SEVENTY-TWO (72) HOURS AFTER DENSITY/MOISTURE TESTS HAVE BEEN TAKEN AND PASSED BY A REGISTERED TESTING FIRM. COPIES OF THE



BENCHMARKS:

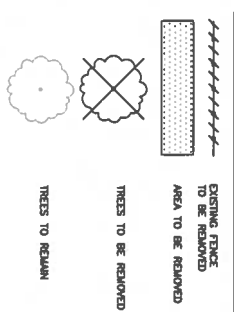
TBM #1: MAGNAIL WITH SHINER FOUND ON THE EAST SIDE OF JERNIGAN ROAD, LOCATED APPROXIMATELY 280' SOUTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 645' NORTH OF THE INTERSECTION OF ROLLING ACRES DRIVE AND JERNIGAN ROAD. N: 7080815.239 E: 2399310.941 ELEVATION: 626.85

TBM #2: MAGNAIL WITH SHINER (MCDADAMS) SET IN A DRIVEWAY ENTRANCE FOR THE NORTH EAST CORNER OF SUBJECT PROPERTY, LOCATED APPROXIMATELY 210' NORTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 1,290' SOUTH OF THE INTERSECTION OF LONESOME DOVE LANE AND JERNIGAN ROAD. N: 7081303.010 E: 2399259.267 ELEVATION: 634.72

GENERAL NOTES:

1. REMOVE ALL INCIDENTALS ON SITE
2. CONTRACTOR SHALL RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, FENCES AND SITE DEBRIS OFF-SITE.

LEGEND



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APPLICANT

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MICHAEL CANNADAY

JERNIGAN ESTATES
FP/ED
545 JERNIGAN ROAD
TOWN OF COPPER CANYON, TEXAS, 75077



REVISIONS

| NO. | DATE | DESCRIPTION |
|------------|------|-------------|
| 03/04/2024 | | |

PLAN INFORMATION

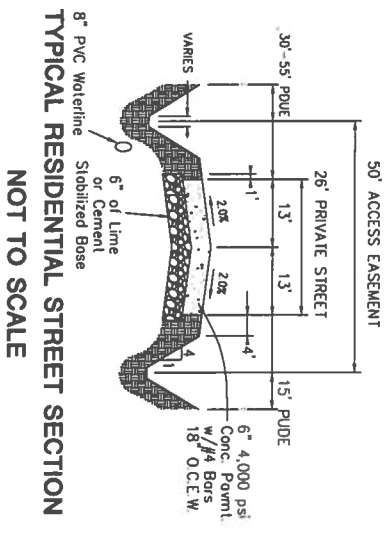
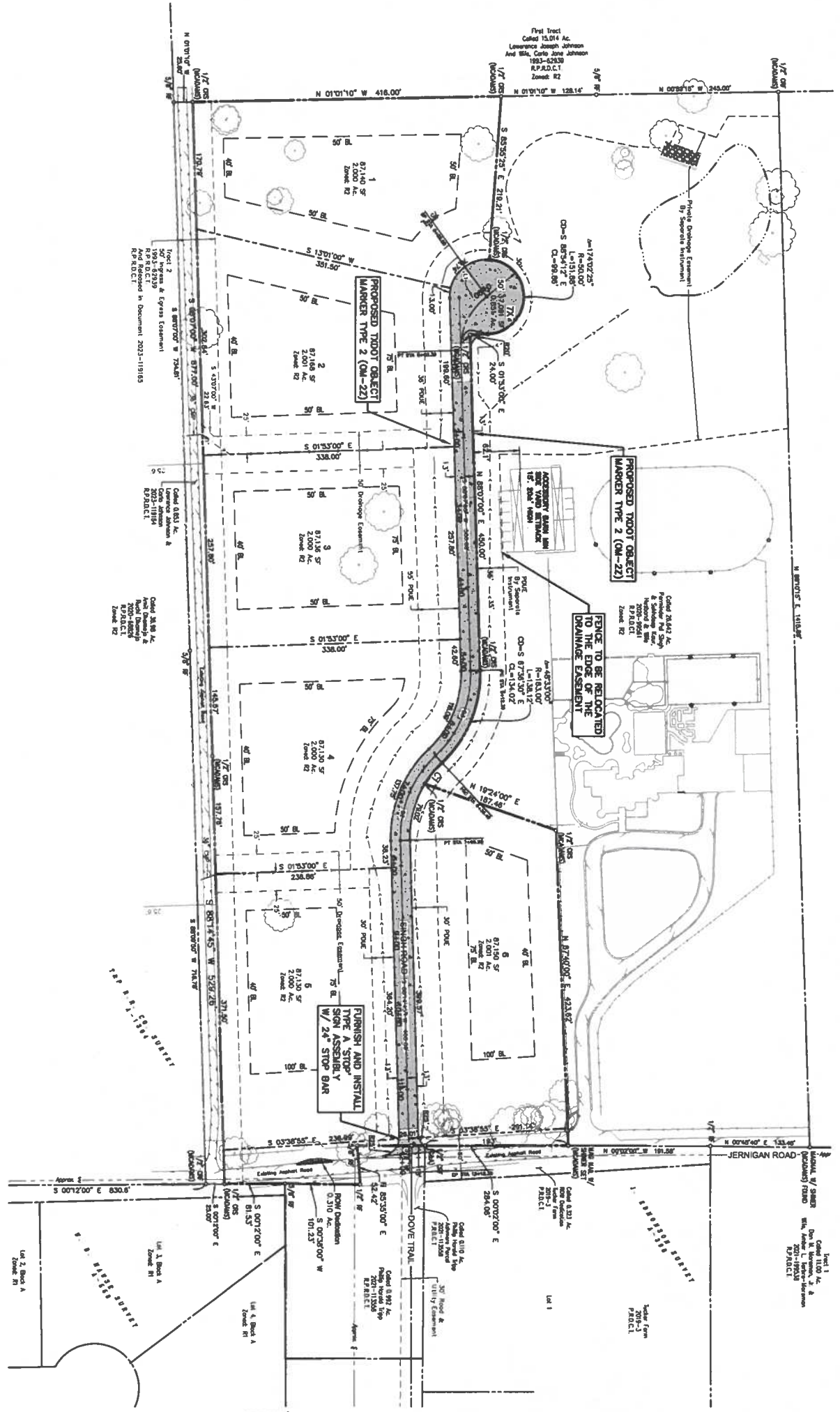
PROJECT NO. PRB-23001
FILENAME PRB23001-DM1.DWG
CHECKED BY DAA
DRAWN BY RC
SCALE 1" = 40'
DATE 03.04.2024
SHEET

DEMOLITION PLAN

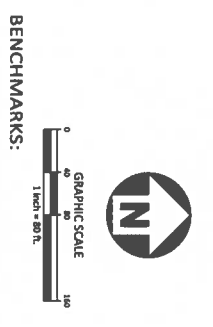
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Site Summary Table

| | |
|-----------------|--|
| Site Address | 545 Jernigan Rd, Copper Canyon, TX 75077 |
| County | DeWitt |
| Project Name | JERNIGAN ESTATES |
| Zoning District | RESIDENTIAL 2 Ac. Min. (R2) |
| Proposed Use | RESIDENTIAL |
| Site Area | 13.166 Acres (573,487 A SF) |
| Impervious Area | 37,997 SF |
| Impervious % | 6.63% |



8" PVC Waterline Stabilized Base
NOT TO SCALE



BENCHMARKS:

BM #1: MAGNALL WITH SHINER FOUND ON THE EAST SIDE OF JERNIGAN ROAD, LOCATED APPROXIMATELY 280' SOUTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 645' NORTH OF THE INTERSECTION OF ROLLING ACRES DRIVE AND JERNIGAN ROAD. N: 7080835.239 E: 2399310.941 ELEVATION: 626.85

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GENERAL NOTES:

1. THE TOWN OF COPPER CANYON CONSTRUCTION STANDARDS APPLY WHEN INDICATED ON PLANS OR NOT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, FENCES AND SITE DEBRIS.
3. EXPANSION JOINTS AT INTERSECTION AND AT MINIMUM 600 FOOT INTERVALS FOR PAVEMENT.
4. SAW CUT AT 15', 17.5' AND 20-FOOT INTERVALS FOR 6-INCH, 7-INCH AND 8-INCH PAVEMENTS RESPECTIVELY.

LEGEND

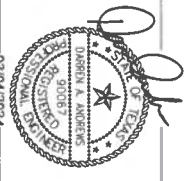
RESIDENTIAL EASEMENT:
 1/2" O.C.E.M. ON STABILIZED SUBGRADE COMPACTED TO 95% STD. PROCTOR DENSITY & EXTENDED 1" PAST DOE OR CONCRETE.
 (FOR FURTHER INFORMATION REPORT FOR SUBGRADE DEPTH AND ANY ADDITIONAL SPECIFICATIONS)



MCDADAMS
 The John R. Mcdadams Company, Inc.
 4400 State Highway 121, Suite 800
 Lewisville, Texas 75056
 Phone 972.438.9712
 Fax 972.438.9713
 TTY: 972.1982.1004
 www.mcdadams.com

APPLICANT
 PENCOSON BUILDERS, INC.
 4931 LONG PRAIRIE ROAD, SUITE 200
 FLOWER MOUND, TEXAS 75028
 (817) 371-4848
 MICHAEL CANNADAY

JERNIGAN ESTATES
 FP/ED
 545 JERNIGAN ROAD
 TOWN OF COPPER CANYON, TEXAS, 75077

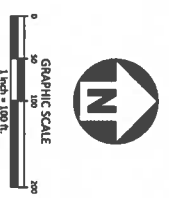
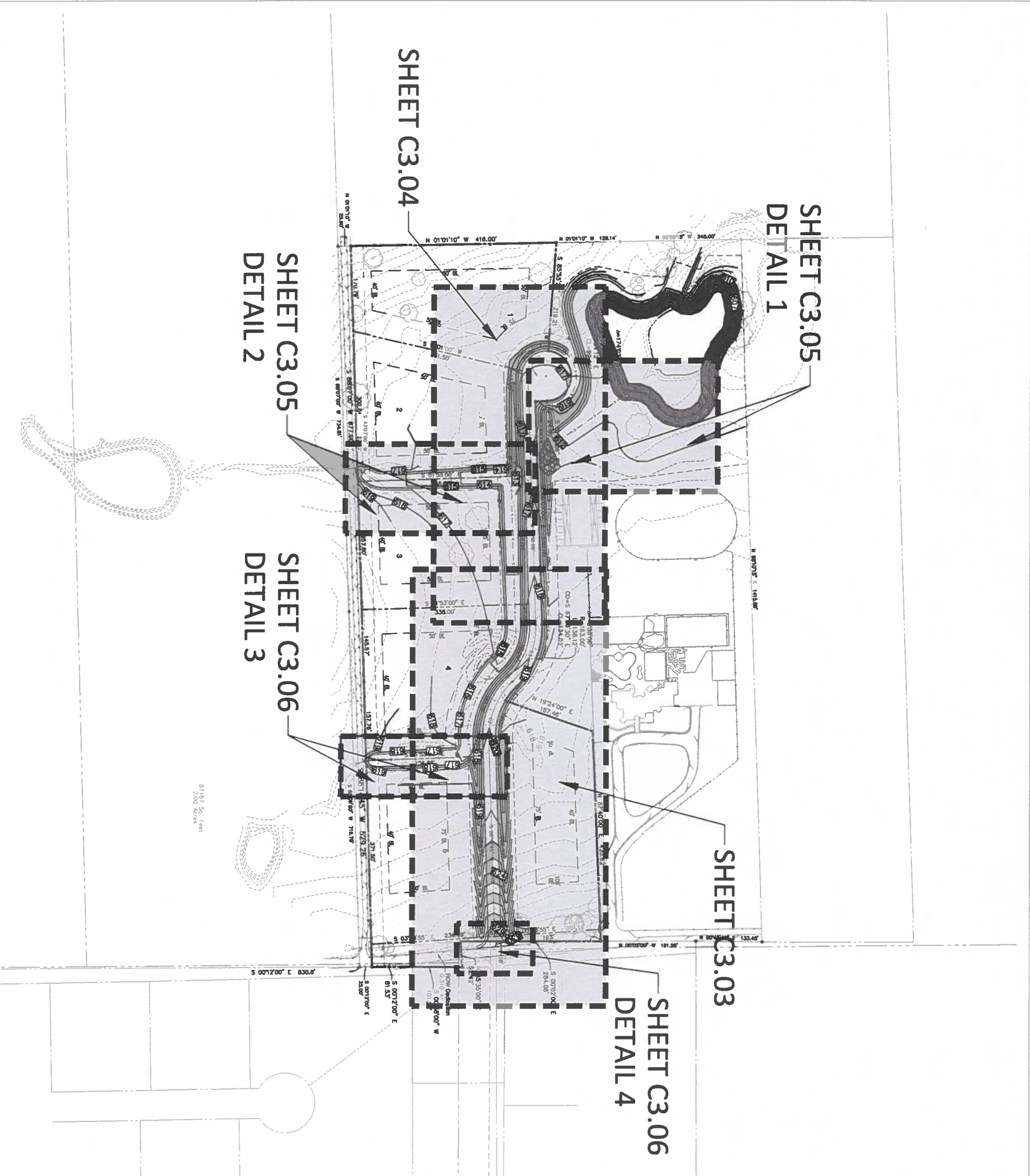


REVISIONS
 03/04/2024

PLAN INFORMATION

PROJECT NO. PRB-23001
 FILENAME PRB23001-51.DWG
 CHECKED BY DAA
 DRAWN BY RC
 SCALE 1" = 80'
 DATE 03.04.2024

SITE, STRIPING, SIGNAGE & DIMENSION PLAN
C2.00



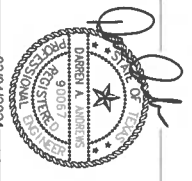
BENCHMARKS:

TBM #1: MAGNAIL WITH SHINER FOUND ON THE EAST SIDE OF JERNIGAN ROAD, LOCATED APPROXIMATELY 280' SOUTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 645' NORTH OF THE INTERSECTION OF ROLLING ACRES DRIVE AND JERNIGAN ROAD. N: 7080815.239 E: 2399310.941 ELEVATION: 626.85

TBM #2: MAGNAIL WITH SHINER (MCDAMMS) SET IN A DRIVEWAY ENTRANCE FOR THE NORTH EAST CORNER OF SUBJECT PROPERTY, LOCATED APPROXIMATELY 210' NORTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 1,290' SOUTH OF THE INTERSECTION OF LONESOME DOVE LANE AND JERNIGAN ROAD. N: 7081303.010 E: 2399259.267 ELEVATION: 634.72

| LOT CULVERT SUMMARY TABLE | | | | |
|---------------------------|-------|----------------------------|---------------|---------------|
| LOT | BLOCK | MINIMUM CULVERT SIZE (IN.) | MINIMUM SLOPE | LOCATION |
| 1 | A | 24 | 0.50% | PRIVATE DRIVE |
| 2 | A | 24 | 0.50% | PRIVATE DRIVE |
| 3 | A | 36 | 0.50% | PRIVATE DRIVE |
| 4 | A | 36 | 0.50% | PRIVATE DRIVE |
| 5 | A | 24 | 0.50% | PRIVATE DRIVE |
| 6 | A | 18 | 1.00% | PRIVATE DRIVE |

JERNIGAN ESTATES
FP/ED
545 JERNIGAN ROAD
TOWN OF COPPER CANYON, TEXAS, 75077



REVISIONS
03/04/2024

PLAN INFORMATION

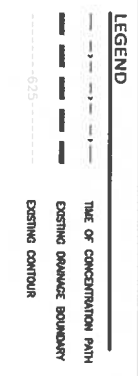
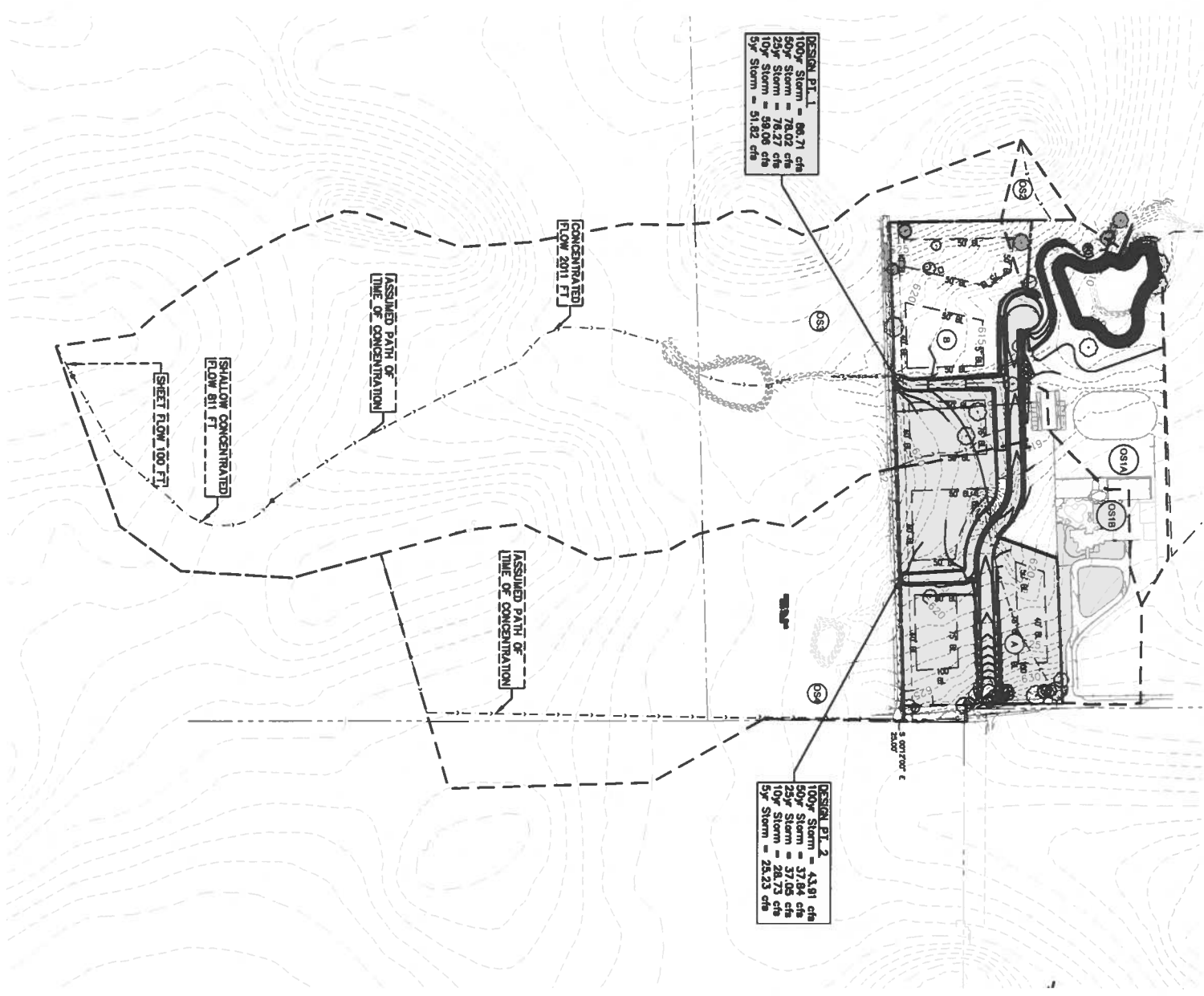
PROJECT NO. PRB-23001
 FILENAME PRB23001-04G1.DWG
 CHECKED BY DAA
 DRAWN BY RC
 SCALE 1" = 100'
 DATE 03-04-2024

OVERALL GRADING PLAN
C3.00

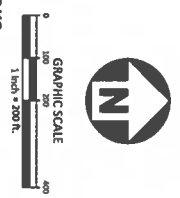
PRELIMINARY DRAWING - RELEASED FOR CONSTRUCTION

MCDAMMS
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 FLOWER MOUND, TEXAS 75028
 (817) 371-4848
 MICHAEL CANNADAY



FOR DETAILED HYDRAULIC AND HYDROLOGY INFORMATION
PLEASE SEE DRAINAGE STUDY FOR JERNIGAN ESTATES DONE
BY MCADAMS DATED MARCH 4th, 2024.



BENCHMARKS:

BM #1: MAGNAIL WITH SHINER FOUND ON THE EAST SIDE OF JERNIGAN ROAD, LOCATED APPROXIMATELY 280' SOUTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 645' NORTH OF THE INTERSECTION OF ROLLING ACRES DRIVE AND JERNIGAN ROAD. N: 7080815.239 E: 2399310.941 ELEVATION: 626.85

BM #2: MAGNAIL WITH SHINER (MCADAMS) SET IN A DRIVEWAY ENTRANCE FOR THE NORTH EAST CORNER OF SUBJECT PROPERTY, LOCATED APPROXIMATELY 210' NORTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 1,290' SOUTH OF THE INTERSECTION OF LONESOME DOVE LANE AND JERNIGAN ROAD. N: 7081303.010 E: 2399259.267 ELEVATION: 634.72

GENERAL NOTES:

- OFFSITE CONTOURS ARE BASED ON USGS MAPPING AND ONLY USED FOR DRAINAGE PATTERNS.

| Area | Average TC (mins) | C | CVA | EXISTING | | | | | | | | | | | |
|-------------|-------------------|----|------|----------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|
| | | | | I | I _a | I _b | I _c | I _d | I _e | I _f | I _g | I _h | I _i | I _j | I _k |
| A | 6.95 | 15 | 2.09 | 4.85 | 5.30 | 6.41 | 7.14 | 7.91 | 8.47 | 9.60 | 12.31 | 14.96 | 13.81 | 16.49 | |
| B | 5.82 | 15 | 1.75 | 4.85 | 5.30 | 6.41 | 7.14 | 7.91 | 8.47 | 9.60 | 12.31 | 14.96 | 13.81 | 16.49 | |
| OS1A | 7.00 | 20 | 0.30 | 4.21 | 4.79 | 5.60 | 6.37 | 6.96 | 8.84 | 10.06 | 12.94 | 13.17 | 14.62 | 16.85 | |
| OS1B | 4.66 | 20 | 0.52 | 2.42 | 4.21 | 4.79 | 5.60 | 6.37 | 6.96 | 8.84 | 10.06 | 12.94 | 13.17 | 14.62 | |
| OS2 | 0.57 | 10 | 0.30 | 5.75 | 6.50 | 7.55 | 8.36 | 9.24 | 0.99 | 1.12 | 1.43 | 1.44 | 1.59 | 1.59 | |
| OS3 | 48.25 | 27 | 0.30 | 14.48 | 4.08 | 4.79 | 5.39 | 5.99 | 51.82 | 59.06 | 76.27 | 78.02 | 86.71 | 86.71 | |
| OS4 | 22.01 | 24 | 0.30 | 3.82 | 4.35 | 5.10 | 5.73 | 6.65 | 25.33 | 28.73 | 37.05 | 37.84 | 43.91 | 43.91 | |
| Totals | 95.36 | | | | | | | | | 115.65 | 131.64 | 169.62 | 178.48 | 193.99 | |
| Weighted C: | 0.31 | | | | | | | | | | | | | | |

| Comment | Q ₁ | Q ₂ | Q ₃ | Q ₄ | Q ₅ | Q ₆ | Q ₇ | Q ₈ | Q ₉ | Q ₁₀ |
|--|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|-----------------|
| SHEIL FLOW TO EXISTING POND | 11.47 | 14.70 | 17.87 | 17.87 | 16.49 | | | | | |
| SHEET FLOW TO EXISTING SWALE THEN TO EXISTING POND | 14.96 | 13.17 | 14.62 | | | | | | | |
| RUNOFF FROM NORTH ADJACENT PROPERTY TO POND | 13.17 | 14.62 | | | | | | | | |
| RUNOFF FROM NORTH ADJACENT PROPERTY TO POND | 14.62 | 16.85 | | | | | | | | |
| RUNOFF FROM WEST ADJACENT PROPERTY TO POND | 16.85 | 18.08 | | | | | | | | |
| RUNOFF FROM SOUTH ADJACENT PROPERTY TO POND | 18.08 | 19.31 | | | | | | | | |
| RUNOFF FROM SOUTH ADJACENT PROPERTY TO POND | 19.31 | 20.54 | | | | | | | | |

JERNIGAN ESTATES
FP/ED
545 JERNIGAN ROAD
TOWN OF COPPER CANYON, TEXAS, 75077



REVISIONS

| NO. | DATE | DESCRIPTION |
|------------|------|-------------|
| 03/04/2024 | | |

PLAN INFORMATION

PROJECT NO. P823001
 FILENAME P823001-G1-DA.DWG
 CHECKED BY DAA
 DRAWN BY KV
 SCALE 1" = 200'
 DATE 03.04.2024
 SHEET

EXISTING DRAINAGE
AREA MAP
C3.01

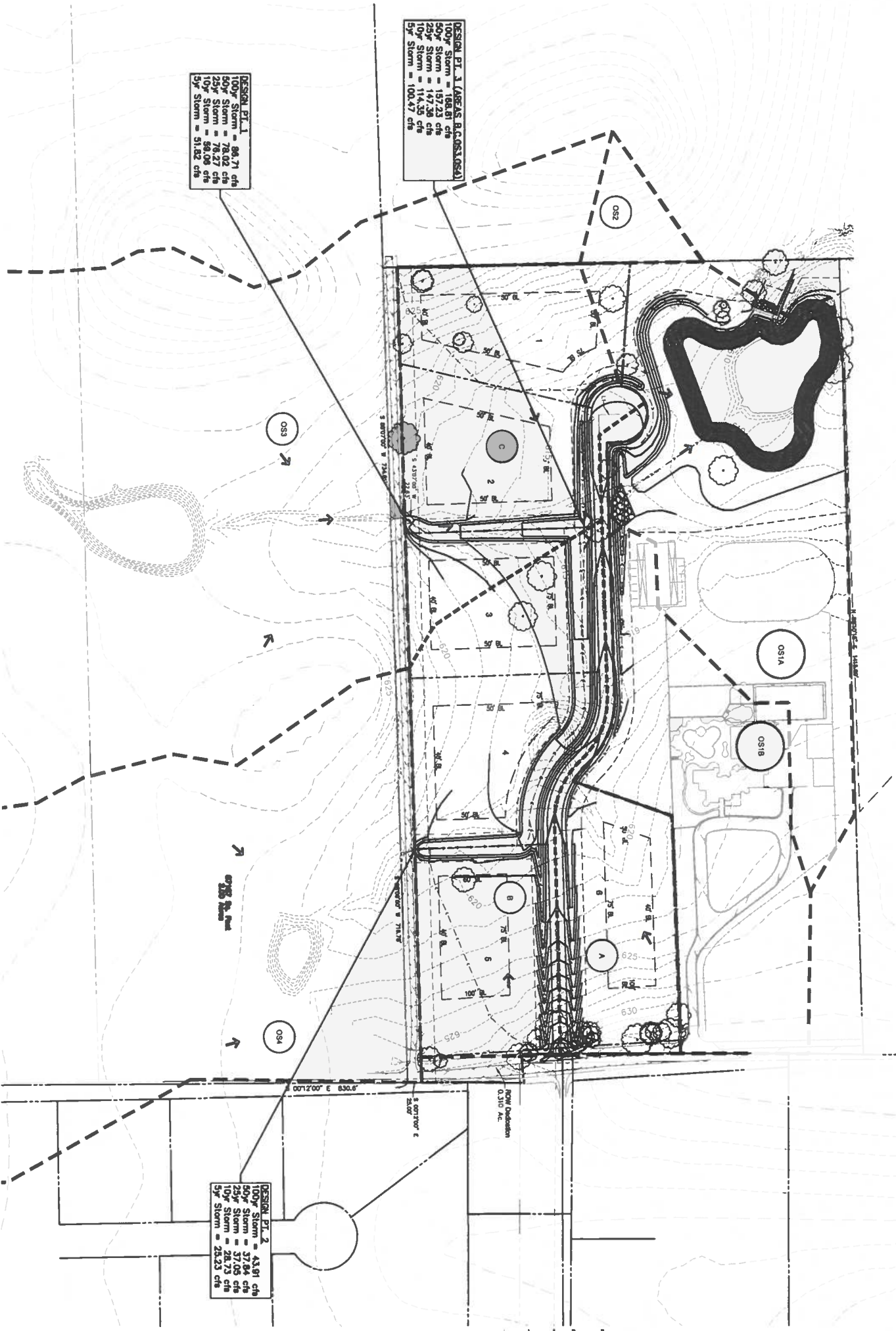
APPLICANT

PRECISION BUILDERS, INC.
 4931 LONG PRAIRIE ROAD, SUITE 200
 FLOWER MOUND, TEXAS 75028
 (817) 371-4848
 MICHAEL CANNADAY

MCADAMS
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 Phone 972.436.9712
 TIRE 13762 TIRE: 1039440
 www.mcadams.com

| Area | Average | Tc (min) | PROPOSED | | | | | | | | | | Totals | Weighted C _o | |
|-------------------------|---------|----------|----------|-------|------|------|------|------|------|--------|--------|--------|--------|-------------------------|--|
| | | | C | CVA | I | I | I | I | I | I | I | I | | | I |
| A | 2.39 | 15 | 0.52 | 1.30 | 4.85 | 5.50 | 6.41 | 7.14 | 7.91 | 6.29 | 7.13 | 9.14 | 11.11 | 10.25 | SHEET FLOW FROM LOT 6 AND NW DRIVEWAY TO BAR DITCH |
| B | 5.99 | 15 | 0.47 | 2.63 | 4.85 | 5.50 | 6.41 | 7.14 | 7.91 | 12.75 | 14.46 | 18.53 | 22.52 | 20.79 | SHEET FLOW FROM LOT 4 AND 5 TO BAR DITCH |
| C | 4.08 | 15 | 0.47 | 2.20 | 4.85 | 5.50 | 6.41 | 7.14 | 7.91 | 10.67 | 12.10 | 15.51 | 18.85 | 17.40 | SHEET FLOW FROM LOT 1, 2 AND 3 TO BAR DITCH |
| OS1A | 7.00 | 20 | 0.30 | 2.10 | 4.21 | 4.79 | 5.60 | 6.27 | 6.96 | 8.84 | 10.05 | 12.93 | 13.16 | 14.61 | SHEET FLOW FROM ADJACENT PROPERTY TO DITCH |
| OS1B | 4.66 | 20 | 0.52 | 2.42 | 4.21 | 4.79 | 5.60 | 6.27 | 6.96 | 10.19 | 11.60 | 14.92 | 15.18 | 16.85 | SHEET FLOW FROM ADJACENT PROPERTY TO DITCH |
| OS2 | 0.97 | 10 | 0.30 | 0.17 | 5.75 | 6.50 | 7.55 | 8.56 | 9.24 | 0.99 | 1.12 | 1.43 | 1.44 | 1.59 | SHEET FLOW FROM ADJACENT PROPERTY TO WEST DITCH |
| OS3 | 48.25 | 27 | 0.30 | 14.48 | 3.58 | 4.08 | 4.79 | 5.29 | 5.99 | 51.82 | 59.06 | 76.27 | 78.02 | 86.71 | FLOW FROM ADJACENT PROPERTY TO WEST DITCH |
| OS4 | 32.01 | 24 | 0.30 | 6.60 | 3.82 | 4.35 | 5.10 | 5.71 | 6.65 | 23.23 | 28.72 | 37.05 | 37.84 | 43.91 | FLOW FROM ADJACENT PROPERTY TO EAST DITCH |
| OS5 | 31.90 | 24 | 0.30 | 6.60 | 3.82 | 4.35 | 5.10 | 5.71 | 6.65 | 23.23 | 28.72 | 37.05 | 37.84 | 43.91 | |
| Totals | 95.26 | | | | | | | | | 126.78 | 144.25 | 185.78 | 198.12 | 212.11 | |
| Weighted C _o | 0.33 | | | | | | | | | | | | | | |

FOR DETAILED HYDRAULIC AND HYDROLOGY INFORMATION
PLEASE SEE DRAINAGE STUDY FOR JERNIGAN ESTATES DONE
BY MCADAMS DATED MARCH 4th, 2024.



DESIGN PT. 1 (LARGE R.C. (OS1, OS2))
 100yr Storm = 188.81 cfs
 50yr Storm = 157.23 cfs
 25yr Storm = 147.38 cfs
 10yr Storm = 114.35 cfs
 5yr Storm = 100.47 cfs

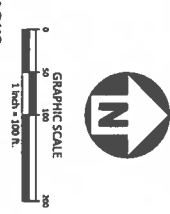
DESIGN PT. 2
 100yr Storm = 43.91 cfs
 50yr Storm = 37.84 cfs
 25yr Storm = 26.75 cfs
 10yr Storm = 25.23 cfs
 5yr Storm = 25.23 cfs

- LEGEND**
- PROPOSED DRAINAGE BOUNDARY
 - - - - - EXISTING DRAINAGE BOUNDARY
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING CONTOUR

BENCHMARKS:

TBM #1: MAGNAIL WITH SHINER FOUND ON THE EAST SIDE OF JERNIGAN ROAD, LOCATED APPROXIMATELY 280' SOUTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 645' NORTH OF THE INTERSECTION OF ROLLING ACRES DRIVE AND JERNIGAN ROAD. N: 7080815.239 E: 2399210.941 ELEVATION: 626.85

TBM #2: MAGNAIL WITH SHINER (MCADAMS) SET IN A DRIVEWAY ENTRANCE FOR THE NORTH EAST CORNER OF SUBJECT PROPERTY, LOCATED APPROXIMATELY 210' NORTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 1,290' SOUTH OF THE INTERSECTION OF LONESOME DOVE LANE AND JERNIGAN ROAD. N: 7081303.010 E: 2399259.267 ELEVATION: 634.72



PRELIMINARY DRAWING RELEASED FOR CONSTRUCTION

PROPOSED DRAINAGE AREA MAP
C3.02

PLAN INFORMATION

PROJECT NO. PRB-23001
 FILENAME PRB23001-G1-DA.DWG
 CHECKED BY DAA
 DRAWN BY KV
 SCALE 1" = 100'
 DATE 03.04.2024



JERNIGAN ESTATES
 FP/ED
 545 JERNIGAN ROAD
 TOWN OF COPPER CANYON, TEXAS, 75077

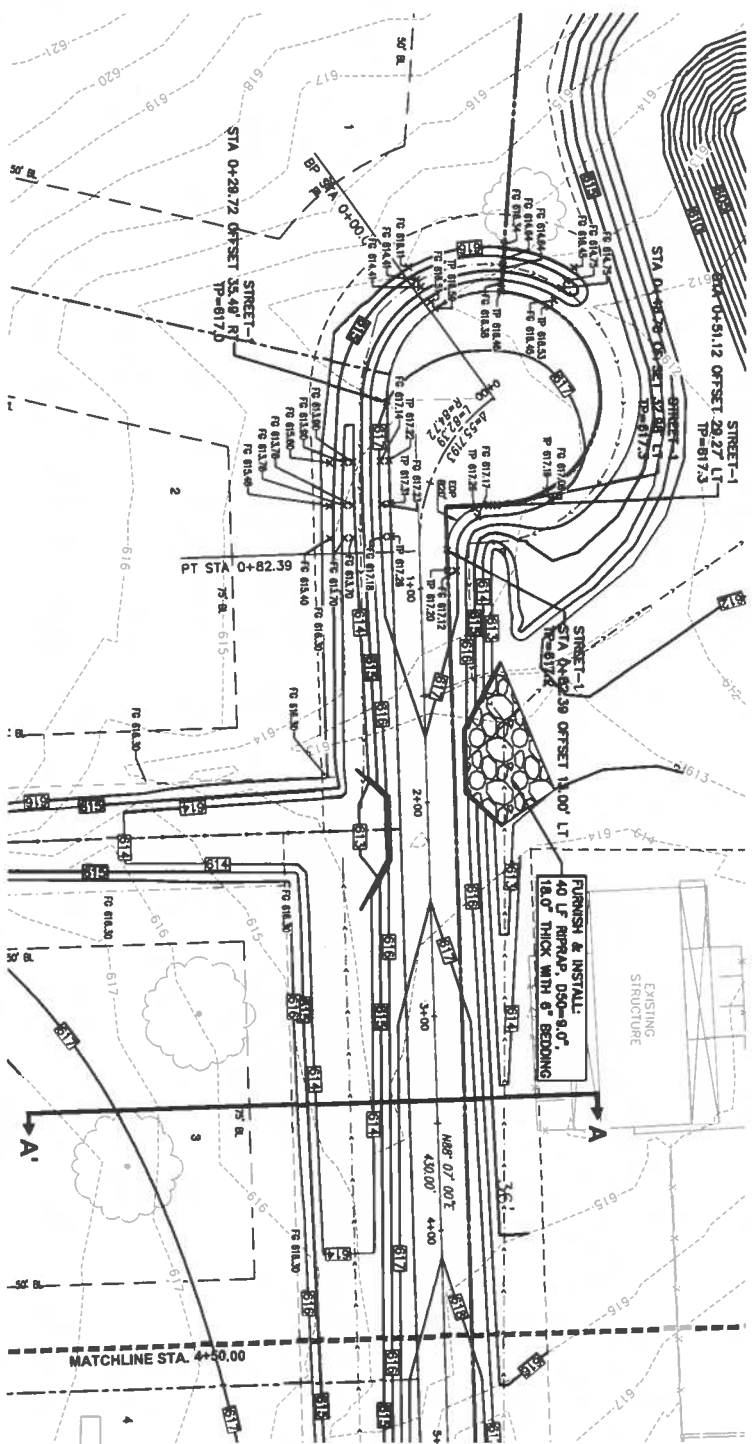
APPLICANT

PERCISION BUILDERS, INC.
 4931 LONG PRAIRIE ROAD, SUITE 200
 FLOWER MOUND, TEXAS 75028
 (817) 371-4848
 MICHAEL.CANNADAY

MCADAMS

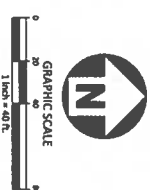
The John R. McAdams Company, Inc.
 4400 State Highway 121, Suite 800
 Lewisville, Texas 75056

Phone 972.456.9712
 Fax 972.456.9714
 TPE: 13762 TPE.S: 1019440
 www.mcadams.com



| Station | Elevation | Notes |
|---------|-----------|---|
| 635 | | |
| 630 | | |
| 625 | | CURVE LEN = 100.00 (Crest) CURVE ELEV @ VPI = 617.72 E = 0.15 |
| 620 | | VPC STA -0+00.00 ELEV 617.43 VPT STA 1+00.00 ELEV 617.42 CURVE LEN = 48.00 (Sag) CURVE ELEV @ VPI = 616.77 E = 0.07 |
| 615 | | VPI STA -0+00.00 ELEV 617.43 STA 0+48.87 HIGH POINT ELEV 617.57 |
| 610 | | STA 2-07.83 LOW POINT ELEV 616.84 |
| 605 | | |
| 600 | | |

STREET-1



BENCHMARKS:
 BM #1: MAGNAIL WITH SHINER FOUND ON THE EAST SIDE OF JERNIGAN ROAD, LOCATED APPROXIMATELY 280' SOUTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 645' NORTH OF THE INTERSECTION OF ROLLING ACRES DRIVE AND JERNIGAN ROAD. N: 7080835.239 E: 2399310.941 ELEVATION: 626.85
 BM #2: MAGNAIL WITH SHINER (MCADAMS) SET IN A DRIVEWAY ENTRANCE FOR THE NORTH EAST CORNER OF SUBJECT PROPERTY, LOCATED APPROXIMATELY 210' NORTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 1,290' SOUTH OF THE INTERSECTION OF LONESOME DOVE LANE AND JERNIGAN ROAD. N: 7081303.010 E: 2399259.267 ELEVATION: 634.72

GENERAL NOTES:

1. GRADING ONLY IS BEING SUBMITTED WITH THESE PLANS

LEGEND

- 620 — PROPOSED MAJOR CONTOUR
- 621 — PROPOSED MINOR CONTOUR
- 625 --- EXISTING CONTOUR
- X P 812M PROPOSED TOP OF PAVEMENT
- X TR 817/0 PROPOSED FINISHED GRADE
- X TR 817/1 PROPOSED TOP OF WALL
- X BW 817/0 PROPOSED BOTTOM OF WALL

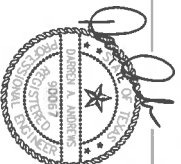


MCADAMS
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 Fax: 972.436.9715
 TIRE: 19702 TIRE.S: 1019440
 www.mcadamsco.com

APPLICANT

PRECISION BUILDERS, INC.
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 MICHAEL CANNADAY

JERNIGAN ESTATES
 FP/ED
 545 JERNIGAN ROAD
 TOWN OF COPPER CANYON, TEXAS, 75077



REVISIONS
 03/04/2024

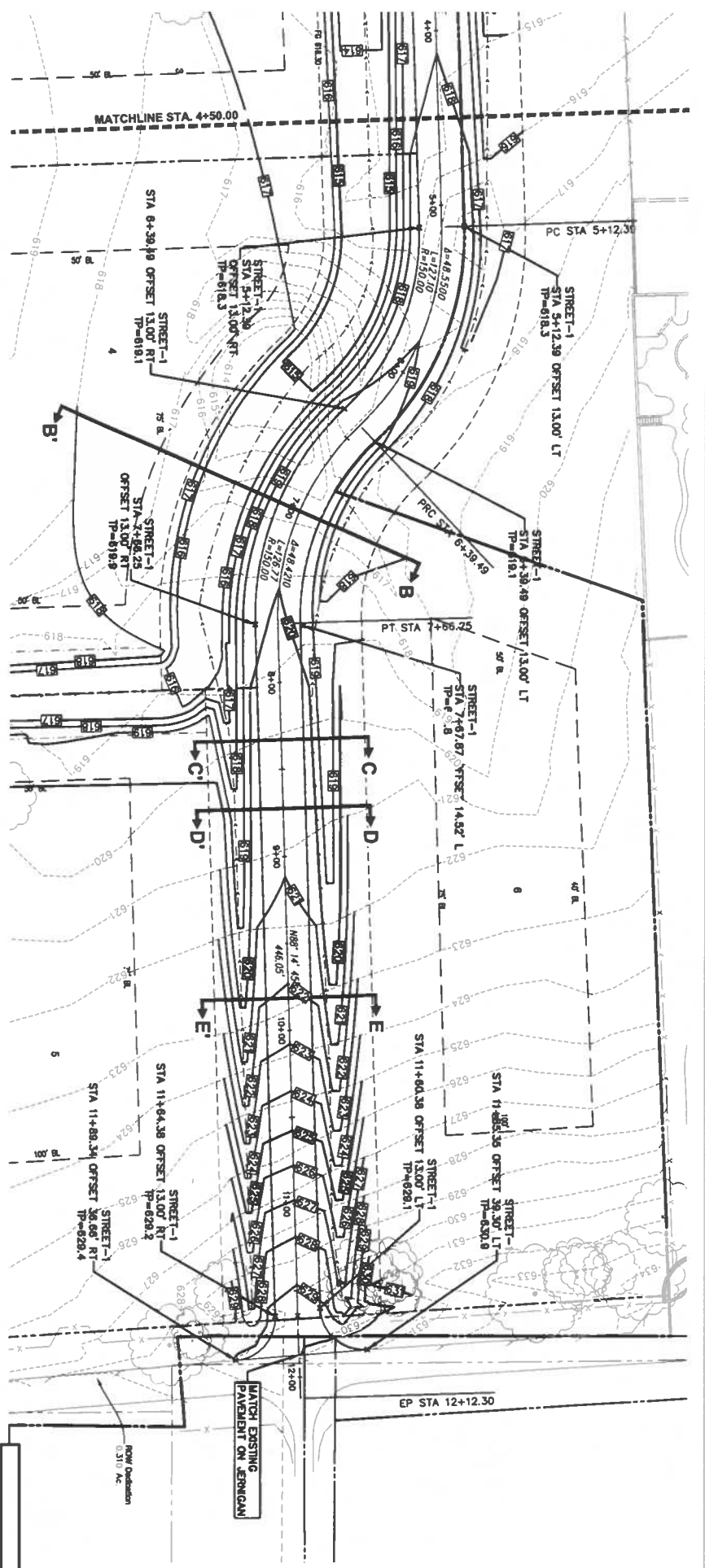
| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

PLAN INFORMATION

PROJECT NO. PR8-23001
 FILENAME PR823001-C3.DWG
 CHECKED BY DAA
 DRAWN BY RC
 SCALE 1"=40'
 DATE 03/04/2024

GRADING PLAN

C3.03



| Station | 640 | 635 | 630 | 625 | 620 | 615 | 610 | 605 |
|----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|
| 4+50 | CL=618.22 | CL=618.37 | CL=618.52 | CL=618.67 | CL=618.82 | CL=618.97 | CL=619.12 | CL=619.27 |
| 5+00 | CL=618.37 | CL=618.52 | CL=618.67 | CL=618.82 | CL=618.97 | CL=619.12 | CL=619.27 | CL=619.42 |
| 6+00 | CL=618.52 | CL=618.67 | CL=618.82 | CL=618.97 | CL=619.12 | CL=619.27 | CL=619.42 | CL=619.57 |
| 7+00 | CL=618.67 | CL=618.82 | CL=618.97 | CL=619.12 | CL=619.27 | CL=619.42 | CL=619.57 | CL=620.02 |
| 8+00 | CL=618.82 | CL=618.97 | CL=619.12 | CL=619.27 | CL=619.42 | CL=619.57 | CL=620.02 | CL=620.17 |
| 9+00 | CL=618.97 | CL=619.12 | CL=619.27 | CL=619.42 | CL=619.57 | CL=620.02 | CL=620.17 | CL=620.32 |
| 10+00 | CL=619.12 | CL=619.27 | CL=619.42 | CL=619.57 | CL=620.02 | CL=620.17 | CL=620.32 | CL=620.47 |
| 11+00 | CL=619.27 | CL=619.42 | CL=619.57 | CL=620.02 | CL=620.17 | CL=620.32 | CL=620.47 | CL=620.62 |
| 12+00 | CL=619.42 | CL=619.57 | CL=619.72 | CL=619.87 | CL=620.02 | CL=620.17 | CL=620.32 | CL=620.47 |
| 12+02+25 | CL=619.57 | CL=619.72 | CL=619.87 | CL=620.02 | CL=620.17 | CL=620.32 | CL=620.47 | CL=620.62 |

STREET-1



BENCHMARKS:

BM #1: MAGNAIL WITH SHINER FOUND ON THE EAST SIDE OF JERNIGAN ROAD, LOCATED APPROXIMATELY 280' SOUTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 645' NORTH OF THE INTERSECTION OF ROLLING ACRES DRIVE AND JERNIGAN ROAD. N: 7080815.239 E: 2399310.941 ELEVATION: 626.85

BM #2: MAGNAIL WITH SHINER (MCDADAMS) SET IN A DRIVEWAY ENTRANCE FOR THE NORTH EAST CORNER OF SUBJECT PROPERTY, LOCATED APPROXIMATELY 210' NORTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 1,290' SOUTH OF THE INTERSECTION OF LONESOME DOVE LAKE AND JERNIGAN ROAD. N: 7081303.010 E: 2399259.267 ELEVATION: 634.72

GENERAL NOTES:

1. GRADING ONLY IS BEING SUBMITTED WITH THESE PLANS

LEGEND

- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING CONTOUR



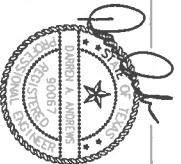
MCDADAMS
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Phone: 972.436.9712
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Toll Free: 1-877-398-1010
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APPLICANT

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(817) 371-4848
MICHAEL CANNADAY

JERNIGAN ESTATES
FP/ED
545 JERNIGAN ROAD
TOWN OF COPPER CANYON, TEXAS, 75077



REVISIONS

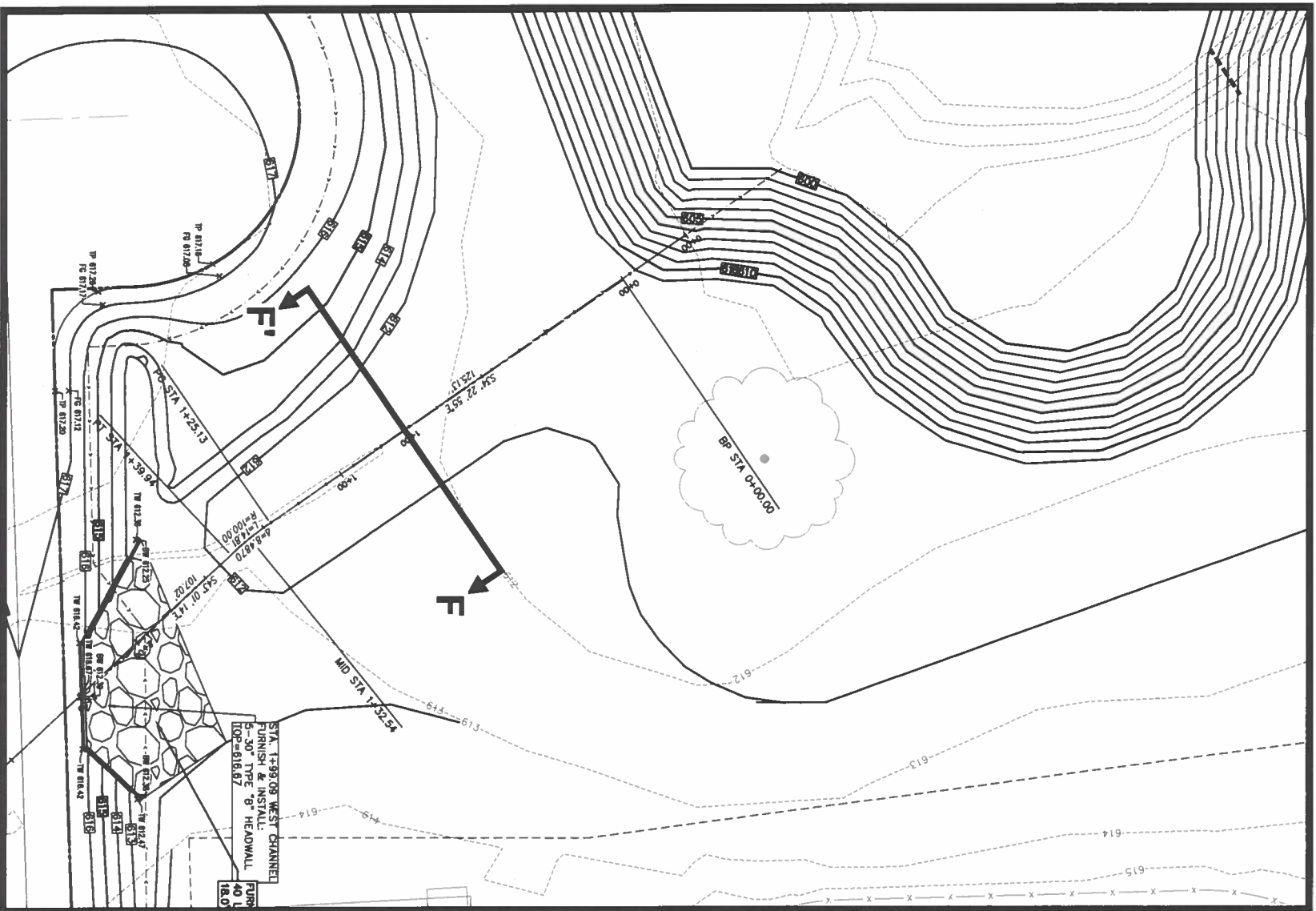
| NO. | DATE | DESCRIPTION |
|------------|------|-------------|
| 03/04/2024 | | |

PLAN INFORMATION

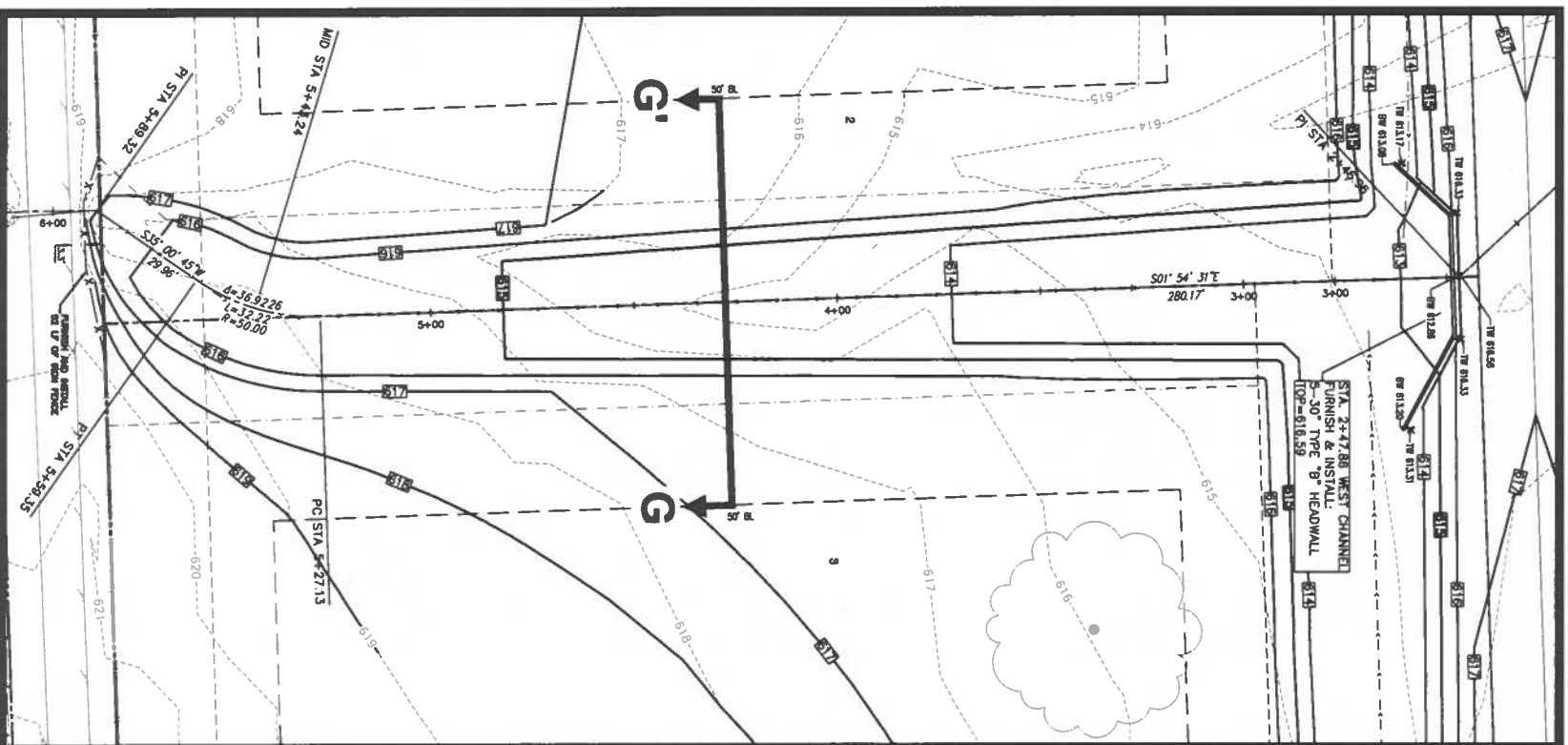
PROJECT NO. PRB-23001
FILENAME PRB23001-G2.DWG
CHECKED BY DAA
DRAWN BY RC
SCALE 1"=40'
DATE 03.04.2024
SHEET

GRADING PLAN

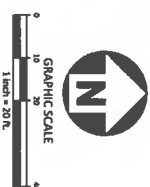
C3.04



DETAIL 1: WEST CHANNEL
SCALE: 1" = 20'
0 20 40 60 Feet



DETAIL 2: WEST CHANNEL
SCALE: 1" = 20'
0 20 40 60 Feet



BENCHMARKS:

BM #1: MAGNAIL WITH SHINER FOUND ON THE EAST SIDE OF JERNIGAN ROAD, LOCATED APPROXIMATELY 280' SOUTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 645' NORTH OF THE INTERSECTION OF ROLLING ACRES DRIVE AND JERNIGAN ROAD. N: 7080815.239 E: 2399310.941 ELEVATION: 626.85

BM #2: MAGNAIL WITH SHINER (MCDADAMS) SET IN A DRIVEWAY ENTRANCE FOR THE NORTH EAST CORNER OF SUBJECT PROPERTY, LOCATED APPROXIMATELY 210' NORTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 1,290' SOUTH OF THE INTERSECTION OF LONESOME DOVE LANE AND JERNIGAN ROAD. N: 7081303.010 E: 2399259.267 ELEVATION: 634.72

LEGEND

- PROPOSED MAIN CHANNEL
- PROPOSED MAIN CHANNEL
- EXISTING CONTOUR
- PROPOSED TOP OF PAVEMENT
- PROPOSED FINISHED GRADE
- PROPOSED TOP OF WALL
- PROPOSED BOTTOM OF WALL



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APPLICANT

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FLOWER MOUND, TEXAS 75028
(817) 371-4848
MICHAEL CANNADAY

JERNIGAN ESTATES
FP/ED
545 JERNIGAN ROAD
TOWN OF COPPER CANYON, TEXAS, 75077



REVISIONS

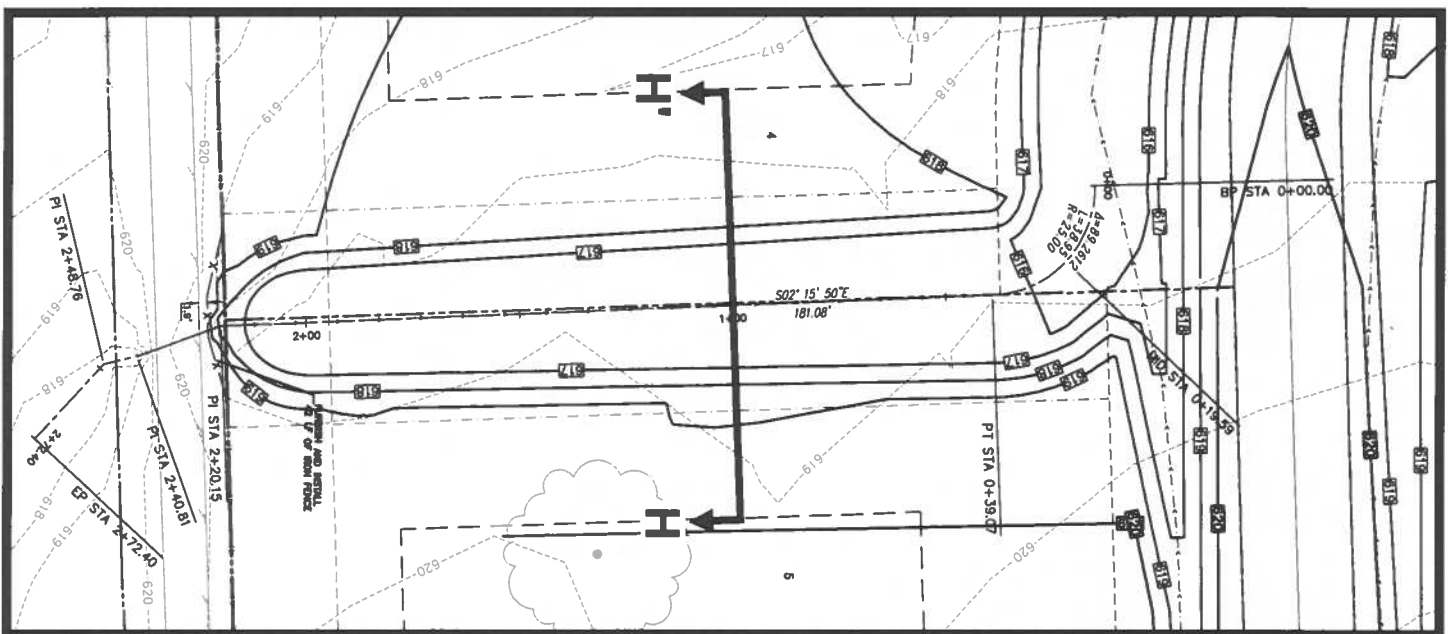
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| 03/04/2024 | | |

PLAN INFORMATION

PROJECT NO. PRJ-23001
FILENAME PRJ23001-G2.DWG
CHECKED BY DAA
DRAWN BY RC
SCALE 1"=20'
DATE 03.04.2024
SHEET

GRADING PLAN

C3.05



DETAIL 3: EAST CHANNEL
SCALE: 1" = 20'
SCALE: 1" = 20'



GRAPHIC SCALE
1 inch = 20 ft

BENCHMARKS:

TBM #1: MAGNAIL WITH SHINER FOUND ON THE EAST SIDE OF JERNIGAN ROAD, LOCATED APPROXIMATELY 280' SOUTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 645' NORTH OF THE INTERSECTION OF ROLLING ACRES DRIVE AND JERNIGAN ROAD. N: 7080815.239 E: 2399310.941 ELEVATION: 626.85

TBM #2: MAGNAIL WITH SHINER (MCADAMS) SET IN A DRIVEWAY ENTRANCE FOR THE NORTH EAST CORNER OF SUBJECT PROPERTY, LOCATED APPROXIMATELY 210' NORTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 1,290' SOUTH OF THE INTERSECTION OF LONESOME DOVE LANE AND JERNIGAN ROAD. N: 7081303.010 E: 2399259.267 ELEVATION: 634.72

LEGEND

- 620— PROPOSED MAJOR CONTOUR
- 621— PROPOSED MINOR CONTOUR
- - -625- - - EXISTING CONTOUR



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TOWN OF COPPER CANYON, TEXAS, 75077



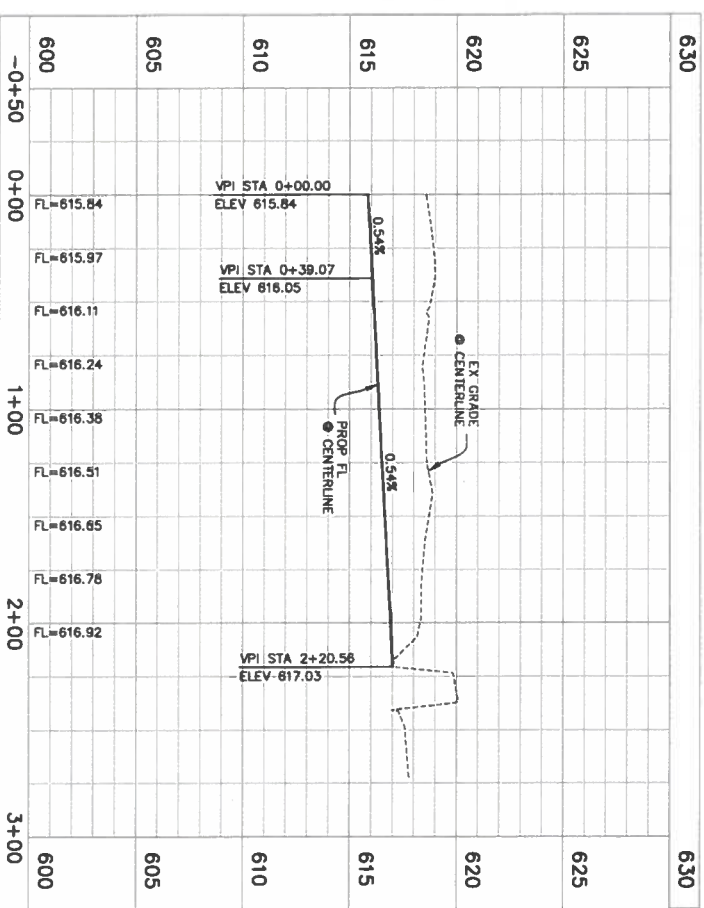
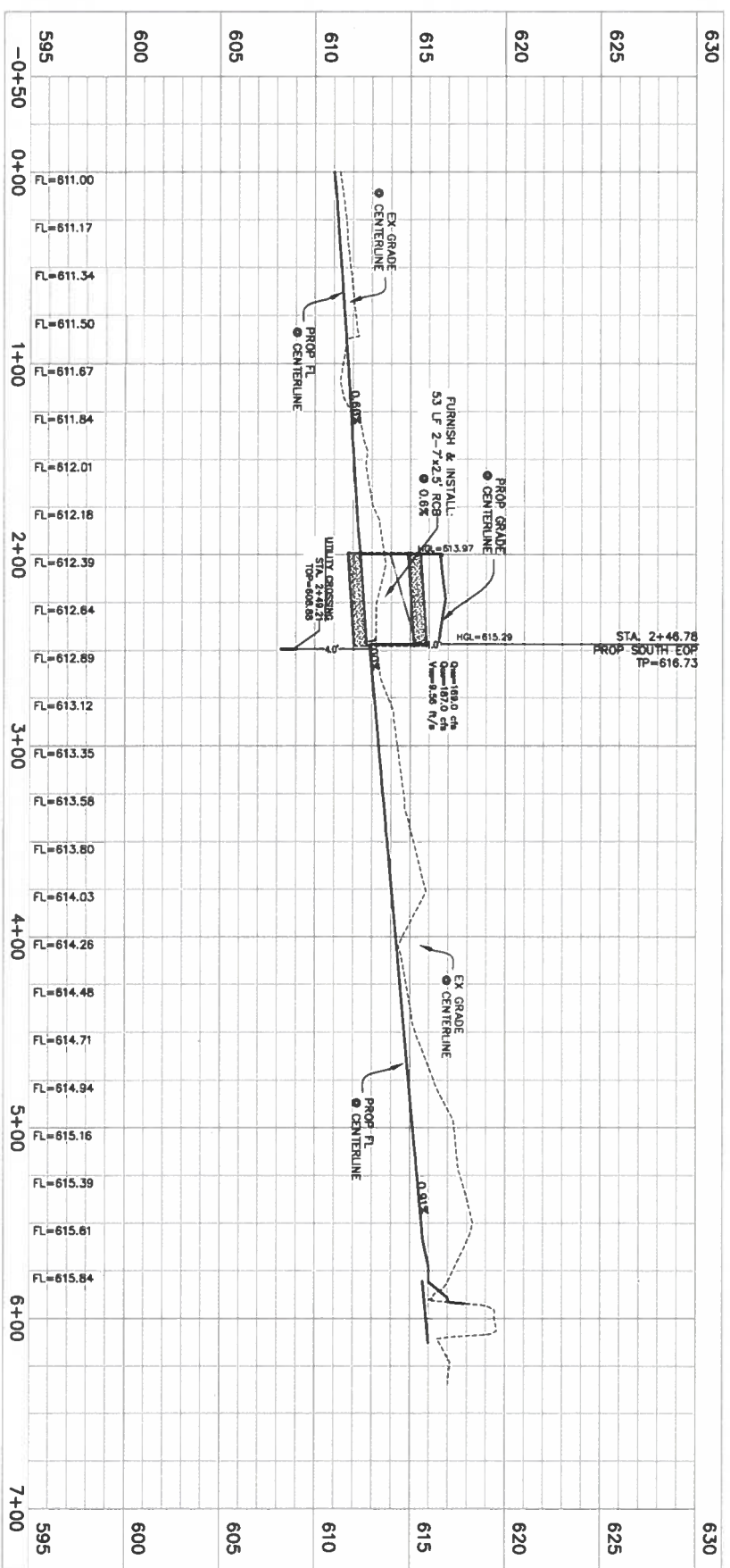
REVISIONS
DATE DESCRIPTION

PLAN INFORMATION

PROJECT NO. PRB-23001
FILENAME PRB23001-G2.DWG
CHECKED BY DAA
DRAWN BY RC
SCALE 1"=20'
DATE 03.04.2024
SHEET

GRADING PLAN

C3.06



PRELIMINARY DRAWING - RELEASED FOR CONSTRUCTION



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REVISIONS
 03/04/2024

PLAN INFORMATION
 PROJECT NO. PRB-23001
 FILENAME PRB23001-G2.DWG
 CHECKED BY DAA
 DRAWN BY RC
 SCALE H:1"=40' V:1"=4'
 DATE 03.04.2024
SHEET

CHANNEL PROFILES
C3.07



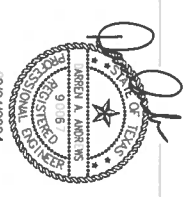
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REVISIONS

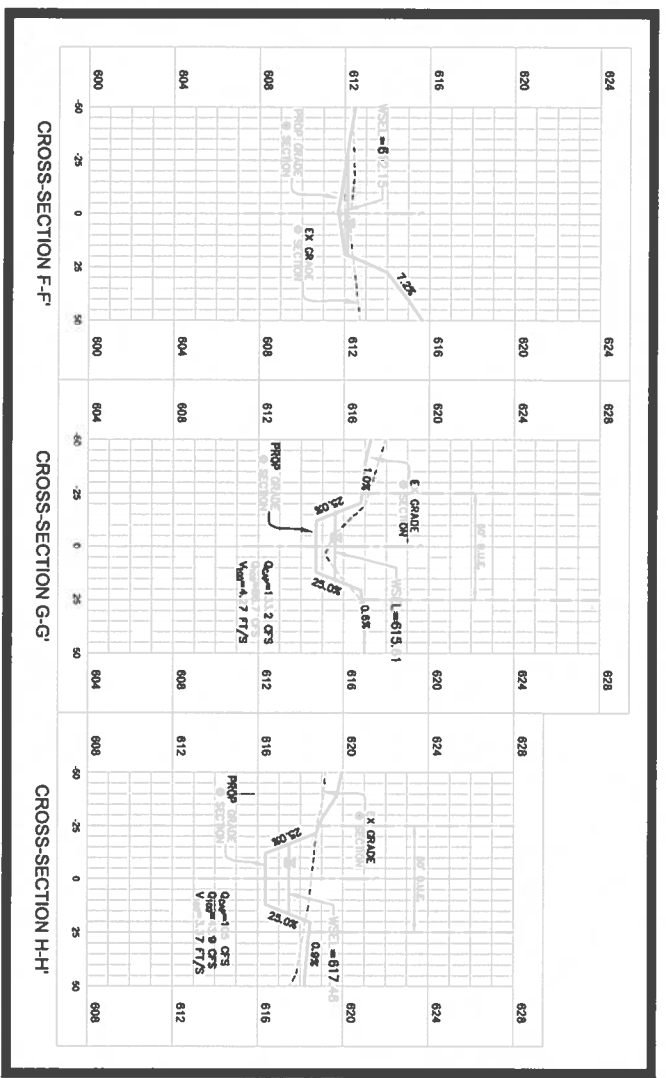
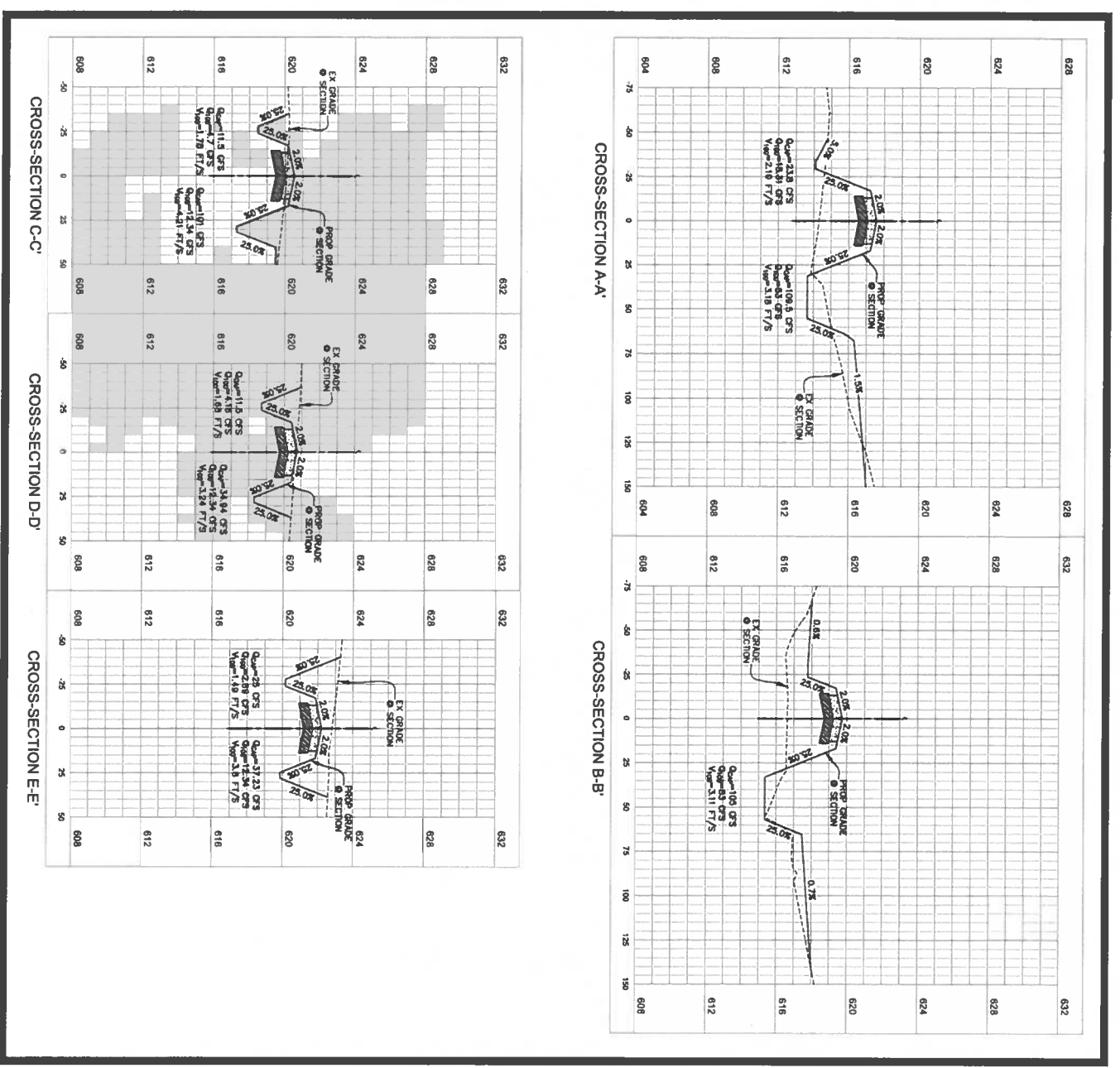
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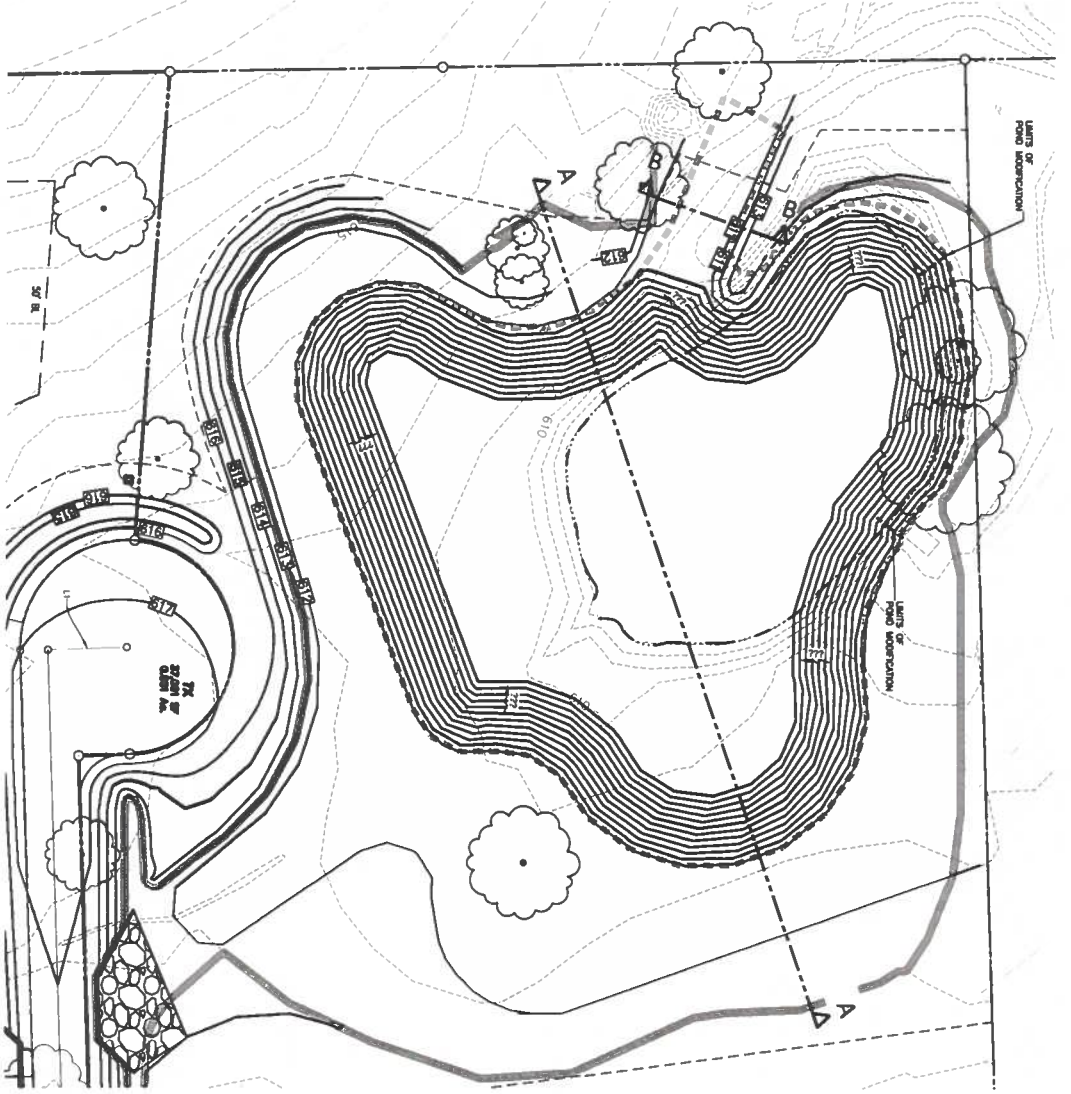
PLAN INFORMATION

PROJECT NO. PRB-23001
FILENAME PRB23001-G2.DWG
CHECKED BY DAA
DRAWN BY RC
SCALE H:1"=40' V:1"=4'
DATE 03.04.2024

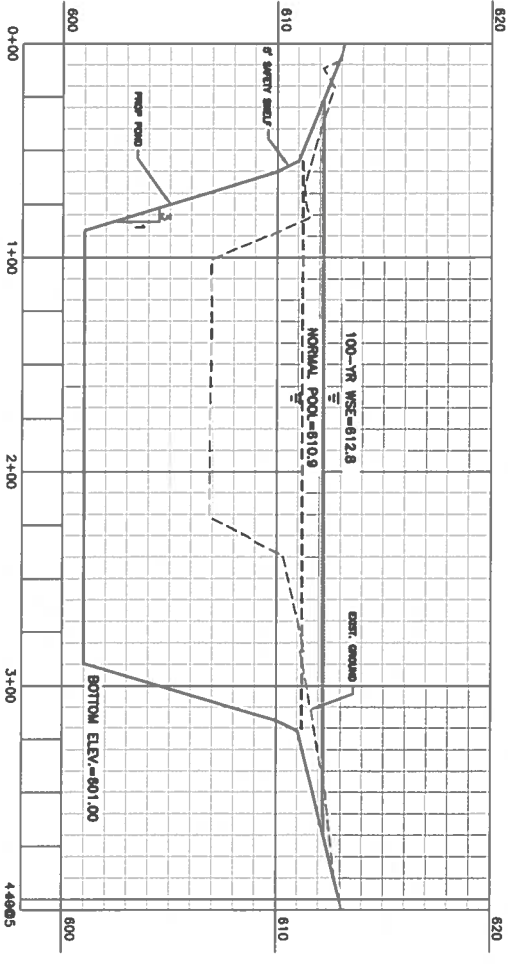
STREET AND CHANNEL CROSS-SECTIONS

C3.08

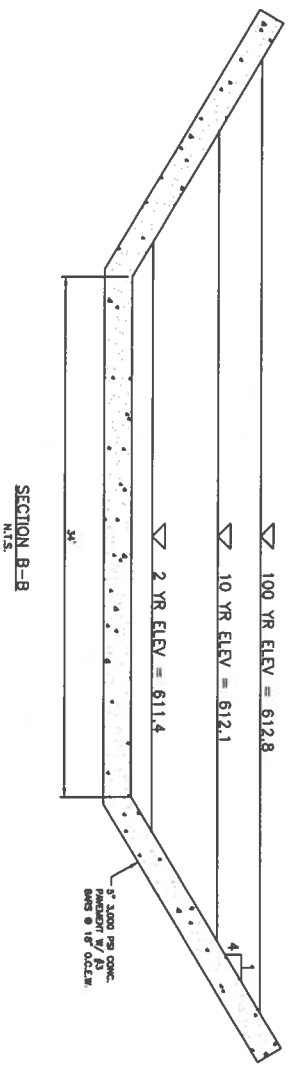




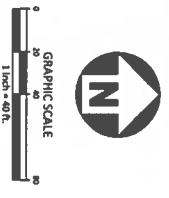
WEST POND CROSS SECTION A-A



| WSEL | PRE | POST |
|------|-------|-------|
| 2 | 611.9 | 611.4 |
| 10 | 612.3 | 612.1 |
| 100 | 612.9 | 612.8 |



SECTION B-B
N.T.S.



BENCHMARKS:

TBM #1: MAGNALL WITH SHINER FOUND ON THE EAST SIDE OF JERNIGAN ROAD, LOCATED APPROXIMATELY 280' SOUTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 645' NORTH OF THE INTERSECTION OF ROLLING ACRES DRIVE AND JERNIGAN ROAD. N: 7080815; 239 E: 2399310; 941 ELEVATION: 626.85

TBM #2: MAGNALL WITH SHINER (MCADAMS) SET IN A DRIVEWAY ENTRANCE FOR THE NORTH EAST CORNER OF SUBJECT PROPERTY, LOCATED APPROXIMATELY 210' NORTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 1,290' SOUTH OF THE INTERSECTION OF LONESOME DOVE LANE AND JERNIGAN ROAD. N: 7081303; 010 E: 2399259; 267 ELEVATION: 634.72

GENERAL NOTES:

1. THE TOWN OF COPPER CANYON ENGINEERING STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT.
2. WEIR CALCULATIONS BASED ON $Q = C L H^{3/2}$; $C = 3$
3. FOR DETAILED HYDRAULIC AND HYDROLOGY INFORMATION PLEASE SEE DRAINAGE STUDY FOR JERNIGAN ESTATES DONE BY MCADAMS DATED MARCH 4th, 2024.

LEGEND

- 620 — PROPOSED MAJOR CONTOUR
- 621 — PROPOSED MINOR CONTOUR
- 622 — EXISTING CONTOUR
- - - - - PROPOSED NORMAL WSE
- — — — — PROPOSED 100-YR WSE



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MICHAEL CANNADAY

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FP/ED
545 JERNIGAN ROAD
TOWN OF COPPER CANYON, TEXAS, 75077



REVISIONS

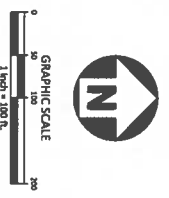
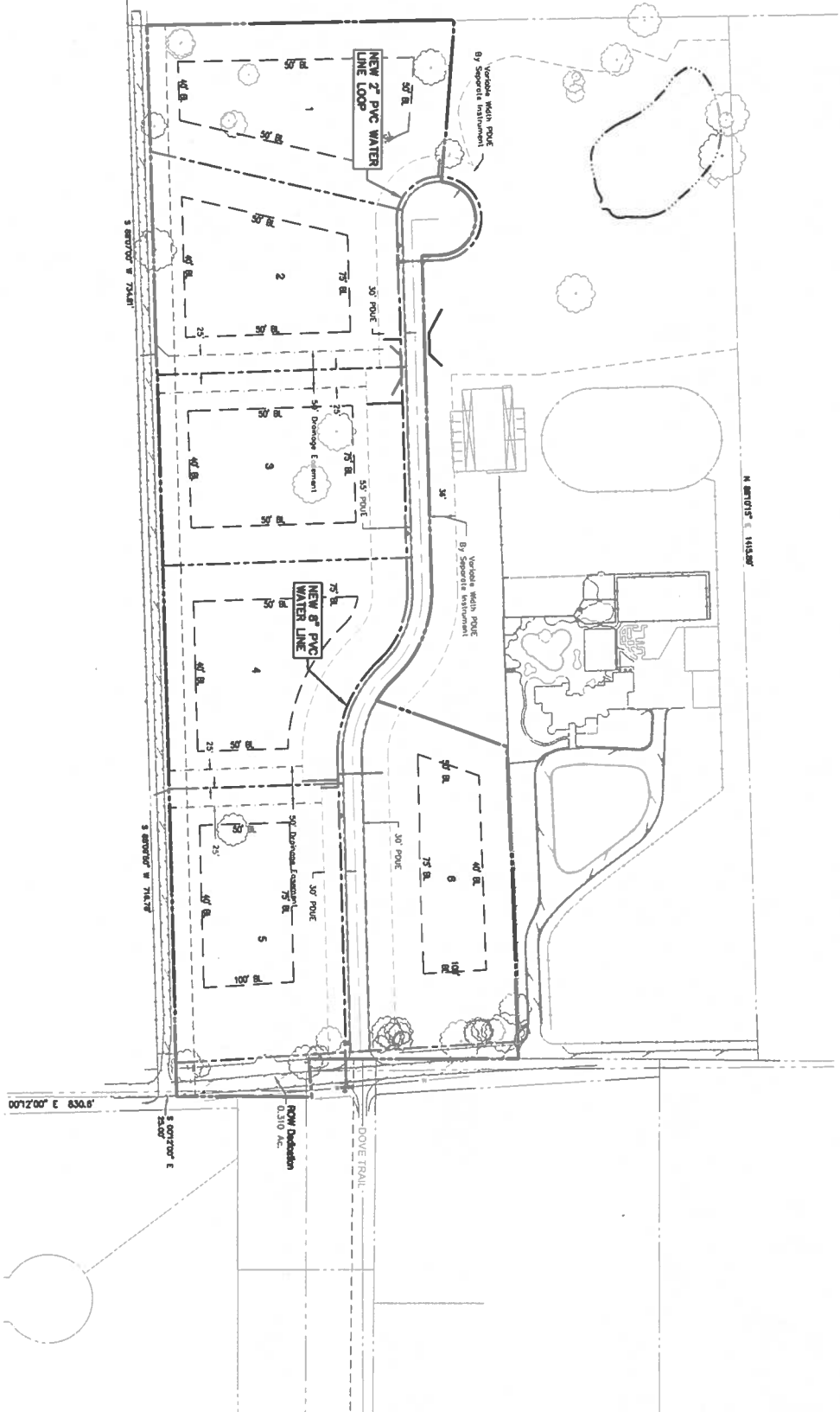
| NO. | DATE | DESCRIPTION |
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| 01 | 03/04/2024 | |

PLAN INFORMATION

PROJECT NO: PRB-23001
FILENAME: PRB23001-G1-POND.DWG
CHECKED BY: DAA
DRAWN BY: DJ
SCALE: 1" = 40'
DATE: 03.04.2024
SHEET

POND GRADING PLAN

C3.09



BENCHMARKS:
 TBM #1: MAGNAIL WITH SHINER FOUND ON THE EAST SIDE OF JERNIGAN ROAD, LOCATED APPROXIMATELY 280' SOUTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 645' NORTH OF THE INTERSECTION OF ROLLING ACRES DRIVE AND JERNIGAN ROAD. N: 7080815.239 E: 2399310.941 ELEVATION: 626.85

TBM #2: MAGNAIL WITH SHINER (MCDADAMS) SET IN A DRIVEWAY ENTRANCE FOR THE NORTH EAST CORNER OF SUBJECT PROPERTY, LOCATED APPROXIMATELY 210' NORTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 1,290' SOUTH OF THE INTERSECTION OF LONESOME DOVE LANE AND JERNIGAN ROAD. N: 7081303.010 E: 2399259.267 ELEVATION: 634.72

GENERAL NOTES:

1. TOWN OF COPPER CANYON CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT.
2. ALL WATER MAIN SHALL HAVE MINIMUM COVER OF 48 INCHES PER TOWN STANDARDS.
3. FIRE HYDRANT ASSEMBLY INCLUDES 6" LEAD WITH 90° BEND PER TOWN STANDARD CONSTRUCTION DETAILS.



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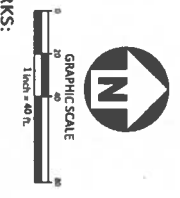
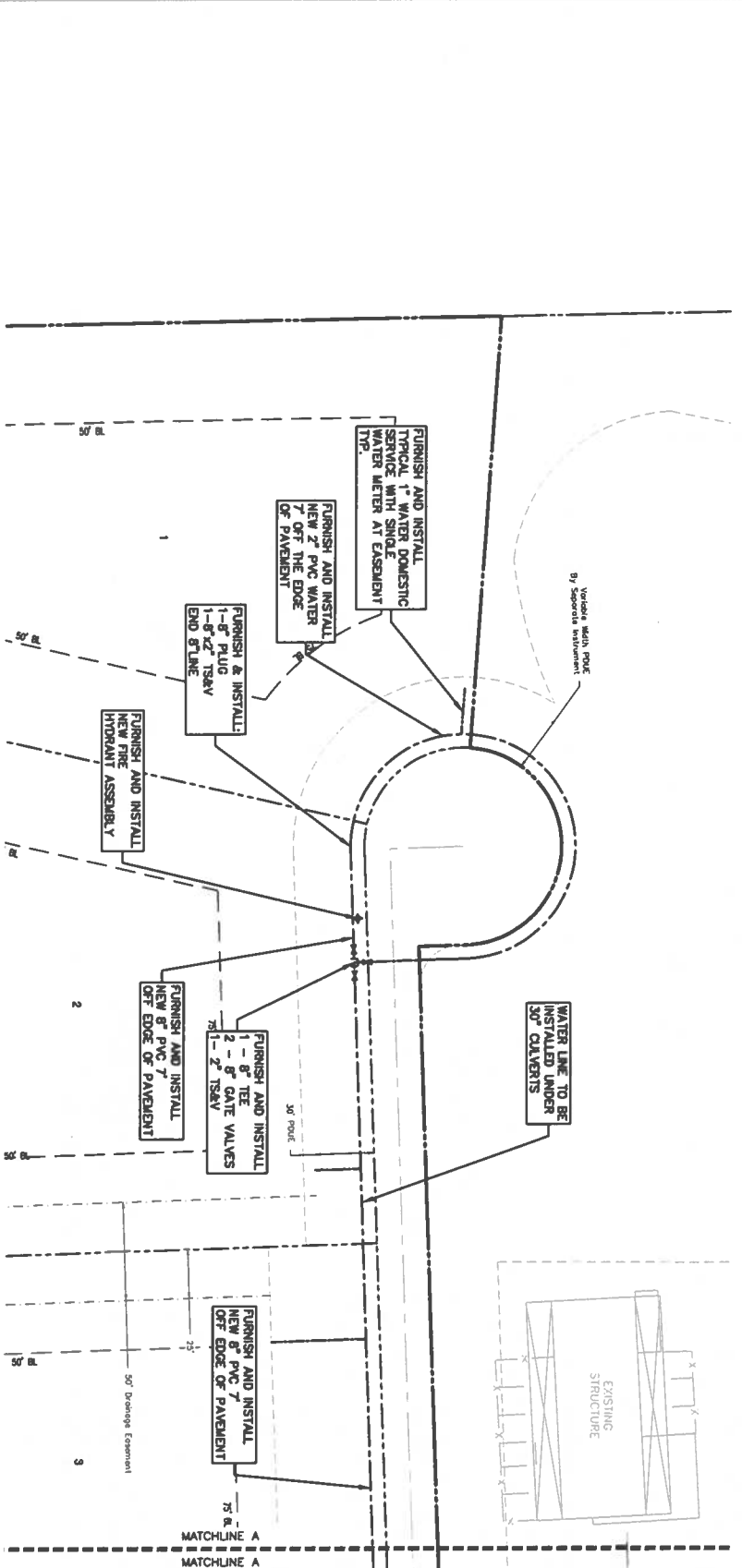
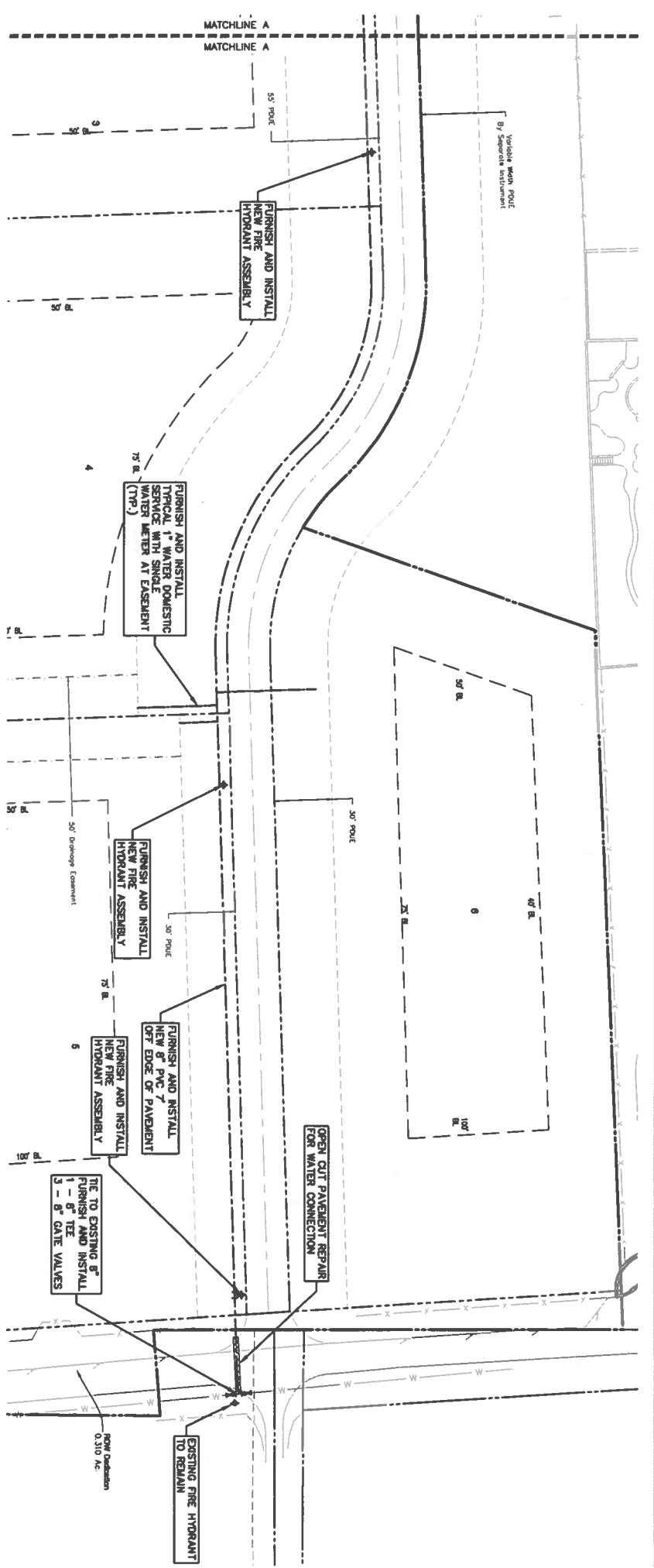
REVISIONS

| NO. | DATE | DESCRIPTION |
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| 1 | 03/04/2024 | |

PLAN INFORMATION

PROJECT NO. PRB-23001
 FILENAME PRB23001-04U1-WATER.DWG
 CHECKED BY OAA
 DRAWN BY DJ
 SCALE 1" = 100'
 DATE 03.04.2024

OVERALL WATER PLAN



BENCHMARKS:

TBM #1: MAGNAIL WITH SHINER FOUND ON THE EAST SIDE OF JERNIGAN ROAD, LOCATED APPROXIMATELY 280' SOUTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 645' NORTH OF THE INTERSECTION OF ROLLING ACRES DRIVE AND JERNIGAN ROAD. N: 7080815.239 E: 2399310.941 ELEVATION: 626.85

TBM #2: MAGNAIL WITH SHINER (MCDADAMS) SET IN A DRIVEWAY ENTRANCE FOR THE NORTH EAST CORNER OF SUBJECT PROPERTY, LOCATED APPROXIMATELY 210' NORTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 1,290' SOUTH OF THE INTERSECTION OF LONESOME DOVE LANE AND JERNIGAN ROAD. N: 7081303.010 E: 2399259.267 ELEVATION: 634.72

GENERAL NOTES:

1. TOWN OF COPPER CANYON CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT.
2. ALL WATER MAIN SHALL HAVE MINIMUM COVER OF 48 INCHES PER TOWN STANDARDS.
3. FIRE HYDRANT ASSEMBLY INCLUDES 5" LEAD WITH 90° BEND PER TOWN STANDARD CONSTRUCTION DETAILS.

JERNIGAN ESTATES

FP/ED
545 JERNIGAN ROAD
TOWN OF COPPER CANYON, TEXAS, 75077



REVISIONS

| NO. | DATE | DESCRIPTION |
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| 03/04/2024 | | |

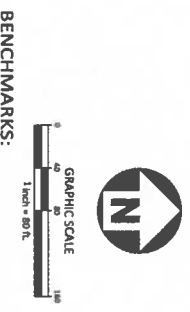
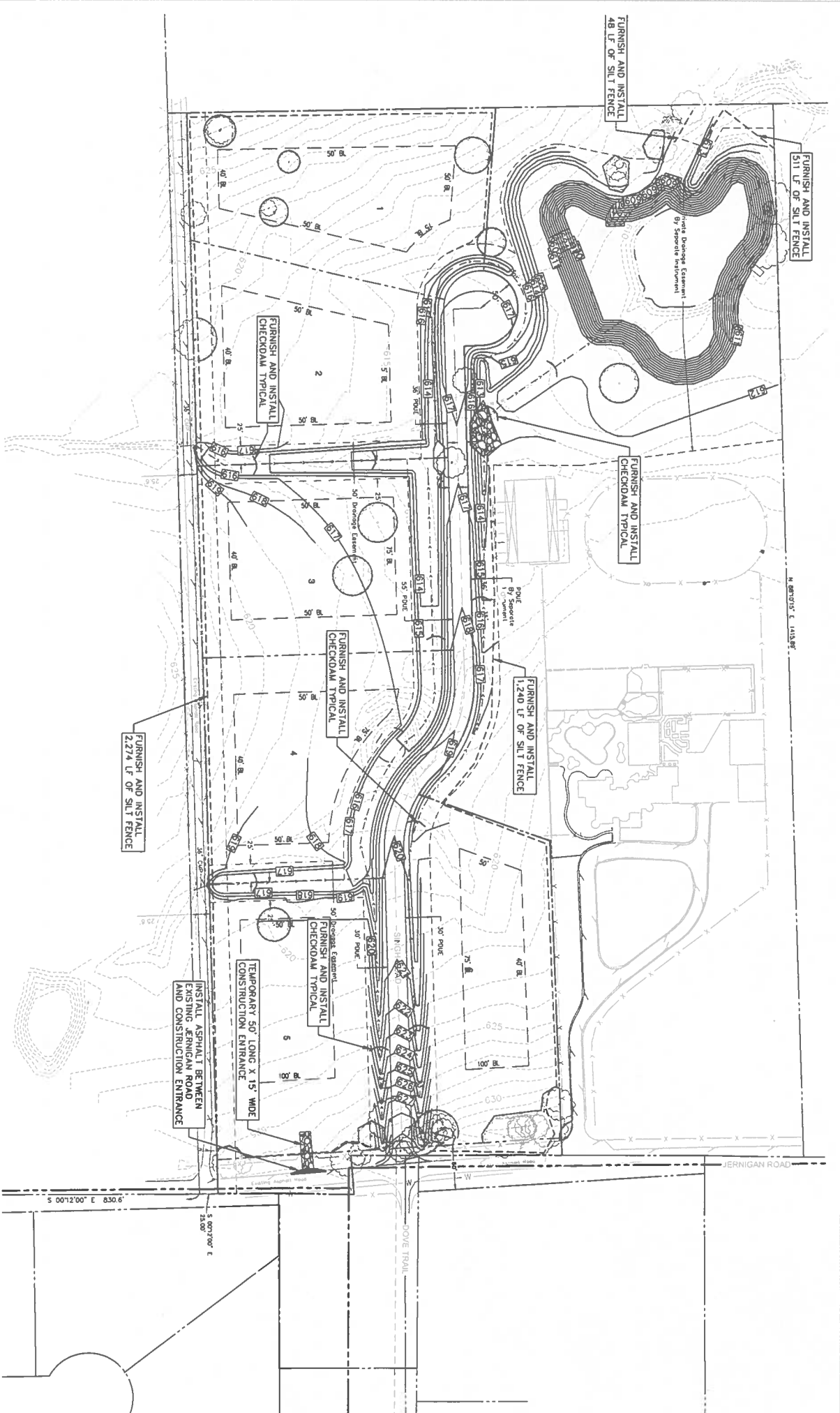
PLAN INFORMATION

| | |
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| PROJECT NO. | PRB-23001 |
| FILENAME | PRB23001-U1-WATER.DWG |
| CHECKED BY | DAJ |
| DRAWN BY | DJ |
| SCALE | 1" = 40' |
| DATE | 03.04.2024 |

WATER PLAN
C4.01

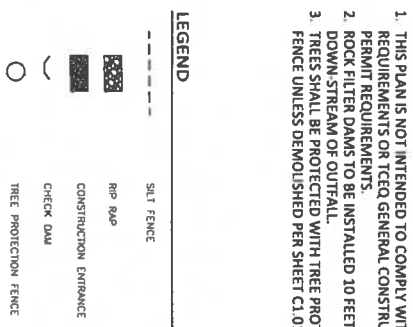
MCDADAMS
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MICHAEL CANNADAY



BENCHMARKS:
 TBM #1: MAGNAIL WITH SHINER FOUND ON THE EAST SIDE OF JERNIGAN ROAD, LOCATED APPROXIMATELY 280' SOUTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 645' NORTH OF THE INTERSECTION OF ROLLING ACRES DRIVE AND JERNIGAN ROAD. N: 7080815; 239 E: 2399310; 941 ELEVATION: 626.85
 TBM #2: MAGNAIL WITH SHINER (MCDADAMS) SET IN A DRIVEWAY ENTRANCE FOR THE NORTH EAST CORNER OF SUBJECT PROPERTY, LOCATED APPROXIMATELY 210' NORTH OF THE INTERSECTION OF DOVE TRAIL AND JERNIGAN ROAD, AND APPROXIMATELY 1,290' SOUTH OF THE INTERSECTION OF LONESOME DOVE LANE AND JERNIGAN ROAD. N: 7081303; 010 E: 2399259; 267 ELEVATION: 634.72

GENERAL NOTES:
 1. THIS PLAN IS NOT INTENDED TO COMPLY WITH NPDES REQUIREMENTS OR TCEQ GENERAL CONSTRUCTION PERMIT REQUIREMENTS.
 2. ROCK FILTER DAMS TO BE INSTALLED 10 FEET DOWN-STREAM OF OUTFALL.
 3. TREES SHALL BE PROTECTED WITH TREE PROTECTION FENCE UNLESS DEMOLISHED PER SHEET C1.01.



JERNIGAN ESTATES
 FP/ED
 545 JERNIGAN ROAD
 TOWN OF COPPER CANYON, TEXAS, 75077



REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|-----------|-------------|
| 1 | 3/04/2024 | |

PLAN INFORMATION

PROJECT NO. PRB-23001
 FILENAME PRB23001-ECL.DWG
 CHECKED BY DAA
 DRAWN BY DJ
 SCALE 1" = 80'
 DATE 03.04.2024
 SHEET

EROSION CONTROL PLAN
CG.00

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 (817) 371-4848
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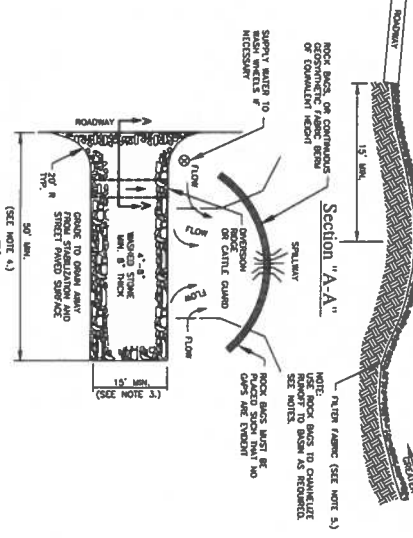
Erosion / Sedimentation Control Notes:

1. THE CONTRACTOR MUST FOLLOW ALL CURRENT FEDERAL, STATE AND LOCAL AUTHORITY REGULATIONS, THE EROSION/SEDIMENTATION CONTROL PLAN, PROVIDED IN THE CONSTRUCTION DOCUMENTS, SHOWING THE MINIMUM REQUIRED BEST MANAGEMENT PRACTICES (BMP) AND METHODS UNDER THE CONTROL OF THE GENERAL CONTRACTOR. SEVERAL OF THESE SUCH ITEMS, BY NO MEANS ALL-INCLUSIVE, INCLUDE: SCHEDULING/PHASING OF WORK, LOCATION OF ON AND OFF-SITE STORAGE AREAS, STOCKPILE LOCATIONS, UNPROCESSED WORK OUTSIDE THE PROJECT BOUNDARIES, ETC. THE PLAN MAY BE MODIFIED BY THE CONTRACTOR WITH THE OWNER'S REPRESENTATIVE AND/OR GOVERNMENT'S PERMISSION, IN ORDER TO PREVENT CONSTRUCTION DELAYS AND NON-COMPLIANCE WITH THE SITE AND VOLUNTARY GENERAL PERMIT.
2. THE CONTRACTOR SHALL INSTALL EROSION/SEDIMENTATION CONTROLS AND TREE/NATURAL AREA PROTECTIVE FENCING PRIOR TO ANY SITE PREPARATION WORK (CLEARING, GRABBING OR EXCAVATION).
3. THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT AND SHALL BE CONSISTENT WITH REQUIREMENTS SPECIFIED IN APPLICABLE SEDIMENT AND EROSION SITE PLANS OR SITE PERMITS, OR STORM WATER MANAGEMENT SITE PLANS OR SITE PERMITS APPROVED BY THE FEDERAL, STATE, TRIBAL OR LOCAL OFFICIALS. THE CONTRACTOR SHALL BE APPROVED BY THE ENGINEER, THE OWNER'S REPRESENTATIVE AND GOVERNMENT AUTHORITIES INSPECTING THE SITE.
4. IF OFF-SITE BORROW OR SPOIL SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND THE EROSION CONTROL PLAN UPDATED BY THE CONTRACTOR TO SHOW LOCATION OF SUCH SITES OFF-SITE BORROW AND SPOIL AREAS ARE TO BE STABILIZED WITH PERMANENT GRASS COVER PRIOR TO FINAL APPROVAL OF THIS PROJECT.
5. THE PLACEMENT OF TREE/NATURAL AREA PROTECTIVE FENCING SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT AND THE LOCAL GOVERNING AUTHORITY'S (LGA) DESIGN GUIDE STANDARDS FOR TREE AND NATURAL AREA PROTECTION. REFER TO PLANS, NOTES, DETAILS AND SPECIFICATIONS.
6. PRIOR TO BEGINNING ANY SOIL DISTURBING ACTIVITIES ON SITE, A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD AT THE SITE WITH THE CONTRACTOR, DESIGN ENGINEER/PERMIT APPLICANT(S)/OWNER'S REP. AND THE LOCAL GOVERNING AUTHORITY (LGA) AFTER INSTALLATION AND VERIFICATION OF EROSION/SEDIMENTATION CONTROLS AND TREE/NATURAL AREA PROTECTIVE MEASURES. THE CONTRACTOR SHALL NOTIFY THE ABOVE NOTED PARTIES AT LEAST THREE DAYS PRIOR TO THE MEETING DATE.
7. CONTRACTOR SHALL MAINTAIN ALL EROSION AND SEDIMENT CONTROLS FOR THE DURATION OF THE PROJECT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE, ENGINEER OR THE LOCAL GOV. AUTHORITY, SHOULD THE ENGINEER/OWNER NOT AGREE WITH THE LEVEL OF PROTECTION. THE A/E/O/OWNER SHALL HAVE THE OPTION OF WITHHOLDING SCHEDULED PAYMENTS UNTIL SUCH TIME AS SATISFACTION IS REACHED.
8. ANY MAJOR VARIATION IN MATERIALS OR LOCATION OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, OWNER'S REP., GOV. AUTHORITY OR AN AGENCIST AS REVISIONS BY THE CONTRACTOR, AND ANY CHANGES NOTED ON PLAN.
9. ALL CONTROL MEASURES SHALL BE INSPECTED BY THE CONTRACTOR DURING CONSTRUCTION AT LEAST ONCE EVERY 7 CALENDAR DAYS ON THE SAME DAY OF THE WEEK (MONDAY OR TUESDAY) AND THE NECESSARY MODIFICATIONS COMPLETED. CONTRACTOR SHALL ALSO INSPECT ALL CONTROL MEASURES AFTER FINAL STABILIZATION (PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED ON THE SITE WITH A DENSITY OF 70% OF THE TARGET DENSITY/ROUND VEGETATIVE COVER).

Tree and Natural Area Protection Notes:

- ALL PRESERVED TREES AND NATURAL AREAS SHOWN ON PLAN, TO BE PRESERVED, SHALL BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING, ALTERNATIVELY, NOTICES PROHIBITING DISTURBANCES MAY BE POSTED SO LONG AS ENFORCEMENT IS ADEQUATE.
- PROTECTIVE FENCES SHALL BE ERECTED ACCORDING TO PLANS.
- PROTECTIVE FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK (CLEARING, GRABBING, OR GRADING), AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
- EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN THE TREE DRIP LINES.
- PROTECTIVE FENCES SHALL SURROUND THE TREES OR GROUP OF TREES AND WILL BE LOCATED AT THE QUASI-NEAREST LIMIT OF BRANCHES (DRIP LINE), FOR NATURAL AREAS, PROTECTIVE FENCES SHALL FOLLOW THE LIMIT OF CONSTRUCTION LINE, IN ORDER TO PREVENT THE FOLLOWING:
- A. SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS.
 - B. ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL), OR TRENCHING.
 - C. WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT.
 - D. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING AND FIRES.
- EXCEPTIONS TO INSTALLING FENCES AT TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES:
- A. WHERE THERE IS TO BE AN APPROVED GRADE CHANGE, IMPERMEABLE PAVING SURFACE TO 4 FEET BEYOND THE AREA DISTURBED; ERECT THE FENCE APPROXIMATELY 2 FEET FROM THE TREE TRUNK.
 - B. WHERE PERMEABLE PAVING IS TO BE INSTALLED WITHIN A TREE'S DRIP LINE, ERECT THE FENCE AT THE PERMEABLE PAVING LINE FROM THE TREE TRUNK TO THE SITE GRADING MINIMIZED ROOT DAMAGE).
 - C. WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE TO ALLOW 6 TO 10 FEET OF WORK SPACE BETWEEN THE FENCE AND THE BUILDING.
- WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF 8 FEET (OR TO THE LIMBS OF LOWER BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED.
- TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED.
- ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL EXPOSED ROOTS WITH SOIL. EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS. COVER THEM WITH ORGANIC MULCH IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
- ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
- NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIP LINE OF TREES. NO SOIL IS PERMITTED ON THE ROOF FLARE OF ANY TREE.
- PLANKING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL TIME PLACE BEFORE DAMAGE OCCURS (TRIPPING OF BRANCHES, ETC.).
- ALL FINISHED PAVING SHALL BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY (REFERENCE THE NATIONAL AGENCIST ASSOCIATION PAVING STANDARDS FOR SPODE TREES). CONSTRUCTION ACTIVITY INCLUDING PARKING SHALL BE CONFINED TO THE PROJECT LIMITS SHOWN ON THESE PLANS.

10. IF STOCKPILES ARE REQUIRED ON SITE, INSTALL SEDIMENT FENCING/BARRIER CONTROL AT 10% OF SLOPE. DURING WET WEATHER SEASON, STOCKPILES SHALL BE COVERED WITH POLYETHYLENE PLASTIC SHEETING 6 MIL THICKNESS AND HELD TIGHTLY IN PLACE BY WEIGHT SANDBAGS OR MOTHS OR OTHER APPROVED METHODS.
11. SOIL RETENTION BARRIERS SHALL BE INSTALLED ON ALL GRADED EARTH SLOPES 6:1 AND STEEPER.
12. ALL UNSTABILIZED EARTH SHALL BE PERMANENTLY SOGGED TO MATCH EXISTING GRASS WHEN THE PROJECT IS COMPLETED. THE SPECIFIC PAVING MATERIAL PROPOSED TO PROTECT ALL EXPOSED SOILS MUST BE GRASS. GRASS SHALL BE SEEDING AND ESTABLISHED DURING THE WINTER OR RESCUE GRASS MAY BE PLANTED DURING TIMES OTHER THAN THE SUMMER MONTHS AS A TEMPORARY MEASURE UNTIL SUCH TIME AS THE PERMANENT PAVING CAN BE MADE.
13. PROTECT TREES AS INDICATED ON PLAN, BY PLACING FENCING AT THE TREE'S DRIP LINE AT A MINIMUM. ADDITIONAL PROTECTIVE MEASURES MAY BE NEEDED. REFER TO NOTES AND/OR DETAILS.
14. AS INLETS ARE CONSTRUCTED ON SITE, TEMPORARY SEDIMENT BARRIERS SHALL BE INSTALLED TO PROTECT AGAINST CONSTRUCTION RUN-OUT FROM ENTERING STORM SEWER STICKS.
15. CONTRACTOR SHALL NOT CLEAN VEHICLES ON SITE UNLESS A CLEANING/WASH STATION FOR SEDIMENT CONTROL IS CONSTRUCTED.
16. CONTRACTOR SHALL USE APPROPRIATE SEDIMENT CONTROL WHILE DEMATERING ON SITE. A SEDIMENT TANK OR SWAMP PIT DEMATERING STRUCTURE MAY BE USED.
17. CONTRACTOR SHALL HAVE ADDITIONAL FILTER DIKES AVAILABLE TO INSTALL ON SITE, AS REQUIRED FOR UNFORESEEN EMERGENCY USE DURING CONSTRUCTION, WHERE ADDITIONAL EROSION/SEDIMENTATION PROTECTION IS NEEDED.
18. PRIOR TO FINAL ACCEPTANCE BY THE OWNER/OWNER REP., ANY HAIL BODYS AND/OR WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED, ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND RE-VEGETATED. ALL LAND CLEARING DEBRIS SHALL BE DISPOSED OF IN APPROVED SPOIL DISPOSAL SITES.
19. ALL WORK MUST STOP IF A VOID IN THE ROCK SUBSTRATE IS DISCOVERED WHICH IS: ONE SQUARE FOOT IN TOTAL AREA. BLOWS ARE FROM WITHIN THE SUBSTRATE AND/OR CONSISTENTLY RECEIVES WATER DURING ANY RAIN EVENT. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR FURTHER INVESTIGATION.
20. IF THE EROSION CONTROL PLANS, AS APPROVED, CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION, IT IS REQUIRED BY THE GENERAL CONTRACTOR TO CONSIDER EROSION CONTROL DEVICES BE INSTALLED. ADDITIONAL TEMPORARY BMP MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AT HIS OWN EXPENSE.
21. THE ENGINEER/OWNER OR GOV. AUTHORITY HAS THE AUTHORITY TO DIRECT THE CONTRACTOR TO ADD AND/OR MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE WITH TCD RULES AND PERMIT REGULATIONS.
22. THE GENERAL CONTRACTOR SHALL COORDINATE SCHEDULES WITH SUBCONTRACTORS FOR INSTALLATION AND REMOVAL OF SEDIMENT CONTROLS WITH THE ENGINEER'S/OWNER'S AND GOV. AUTHORITY'S APPROVAL.

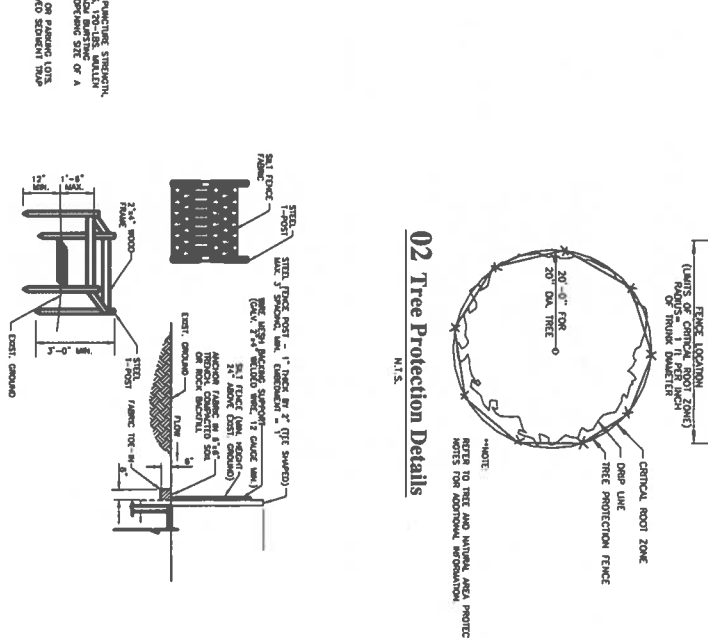
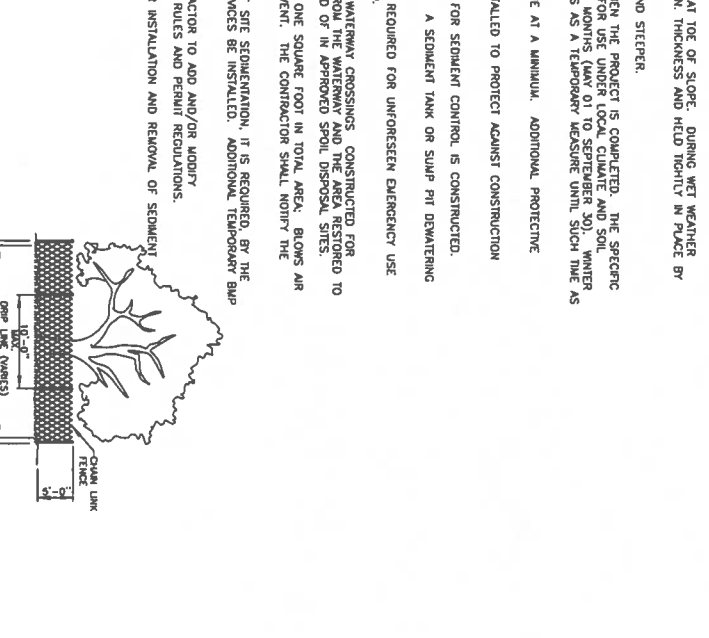


01 Stabilized Construction Entrance/Exit
 N.T.S.

STABILIZED CONSTRUCTION ENTRANCE/EXIT TO BE CONSTRUCTED WITH 12" THICKNESS OF STONE AND A 1' CURB ON EACH SIDE. THE ENTRANCE SHALL BE STABILIZED WITH A LAYER OF AT LEAST 12-INCH THICKNESS OF STONE. THE STONE SHALL BE PLACED IN A LAYER OF AT LEAST 12-INCH THICKNESS. THE STONE SHALL BE SUBSTITUTED BY THE LOCAL LIMITS OF THE CONSTRUCTION DISTANCE BY REINFORCED BARRIERS AS NECESSARY.

THE ENGINEER/OWNER MUST MEET THE FOLLOWING GENERAL CRITERIA:

- 1. ALL STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE CONSTRUCTED WITH 12" THICKNESS OF STONE AND A 1' CURB ON EACH SIDE.
- 2. ALL STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE CONSTRUCTED WITH 12" THICKNESS OF STONE AND A 1' CURB ON EACH SIDE.
- 3. ALL STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE CONSTRUCTED WITH 12" THICKNESS OF STONE AND A 1' CURB ON EACH SIDE.
- 4. ALL STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE CONSTRUCTED WITH 12" THICKNESS OF STONE AND A 1' CURB ON EACH SIDE.



- 03 Still Fence Grate Label Production**
 N.T.S.
1. THE CONTRACTOR SHALL PROVIDE THE FOLLOWING INFORMATION TO THE OWNER:
 2. THE CONTRACTOR SHALL PROVIDE THE FOLLOWING INFORMATION TO THE OWNER:
 3. THE CONTRACTOR SHALL PROVIDE THE FOLLOWING INFORMATION TO THE OWNER:
 4. THE CONTRACTOR SHALL PROVIDE THE FOLLOWING INFORMATION TO THE OWNER:

APPLICANT

PENCOS BUILDERS, INC.
 4931 LONG PRAIRIE ROAD, SUITE 200
 FLOWER MOUND, TEXAS 75028
 (817) 371-4848
 MICHAEL CANNADAY

JERNIGAN ESTATES
 FP/ED
 545 JERNIGAN ROAD
 TOWN OF COPPER CANYON, TEXAS, 75077

REVISIONS

| NO. | DATE | DESCRIPTION |
|------------|------|-------------|
| 03/04/2024 | | |

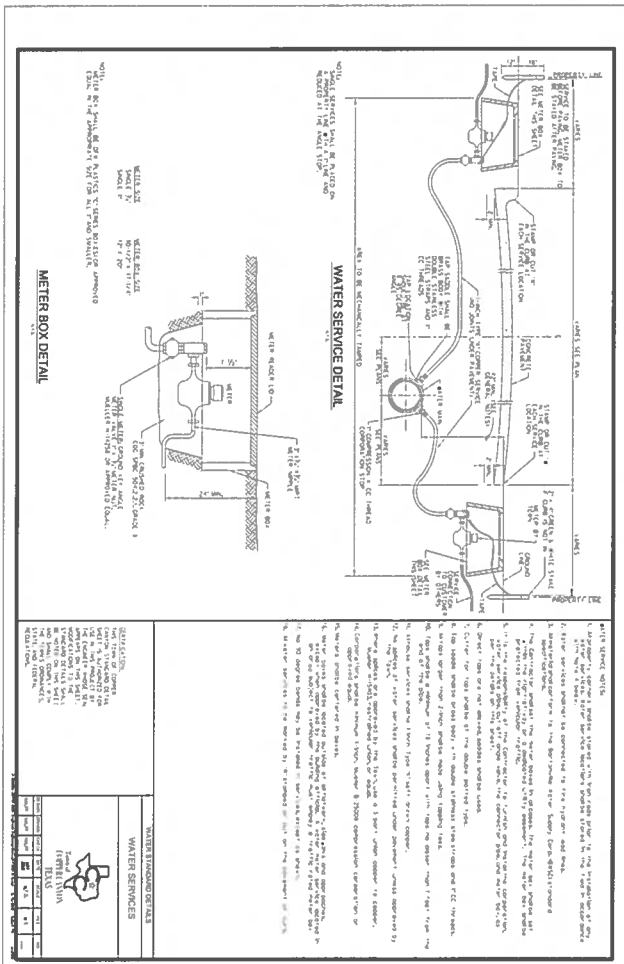
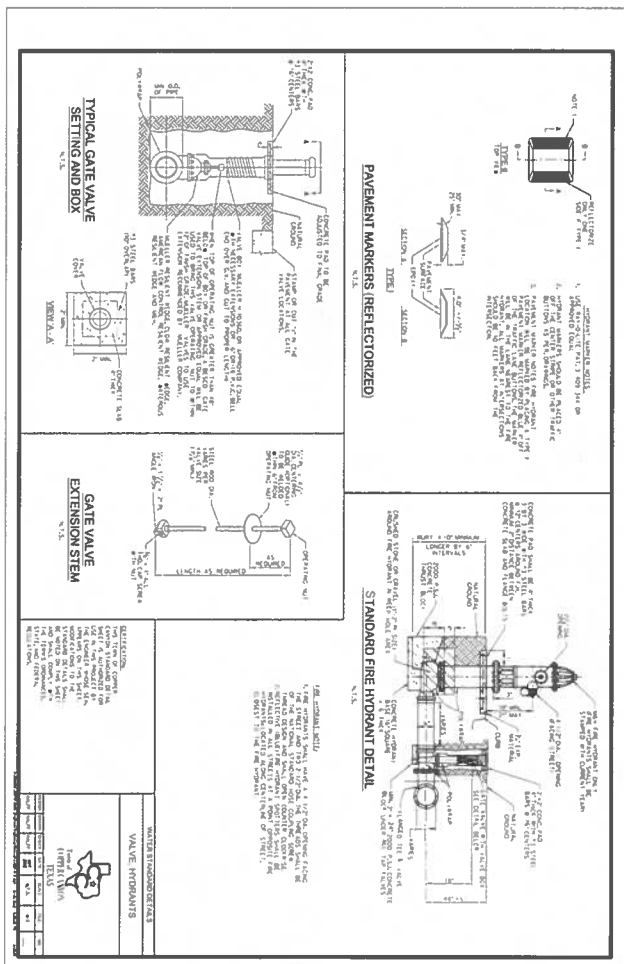
PLAN INFORMATION

PROJECT NO.: PRB-23001
 FILENAME: PRB23001-ECL.DWG
 CHECKED BY: DAA
 DRAWN BY: DJ
 SCALE: N.T.S.
 DATE: 03/04/2024

EROSION CONTROL DETAILS

C6.01

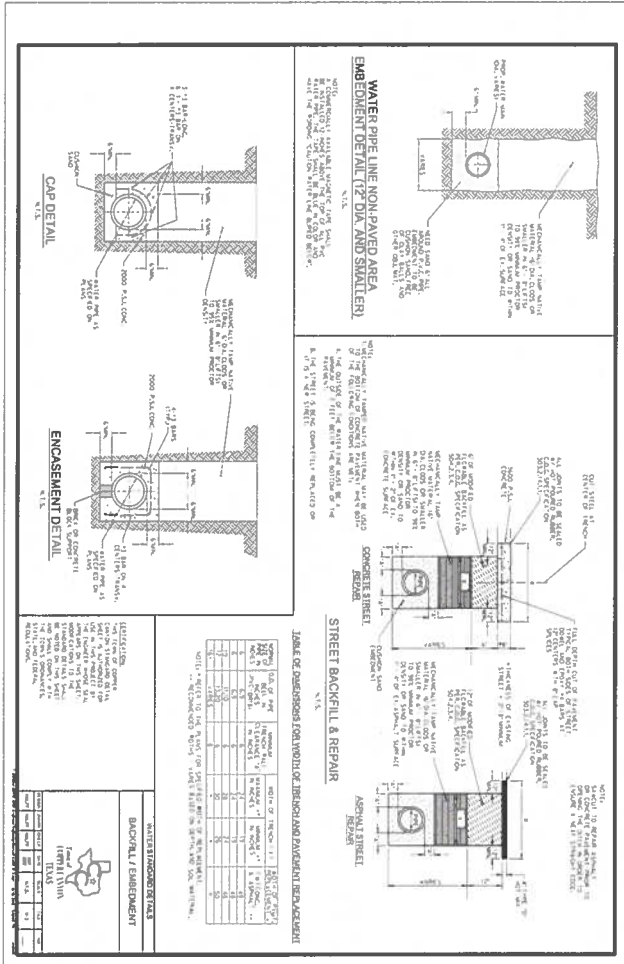
PRELIMINARY DRAWING - RELEASED FOR CONSTRUCTION



VERTICAL THRUST BLOCKS AT FITTINGS

HORIZONTAL THRUST BLOCKING AT FITTINGS

CONCRETE BLOCKING



PRELIMINARY DRAWING - RELEASED FOR CONSTRUCTION



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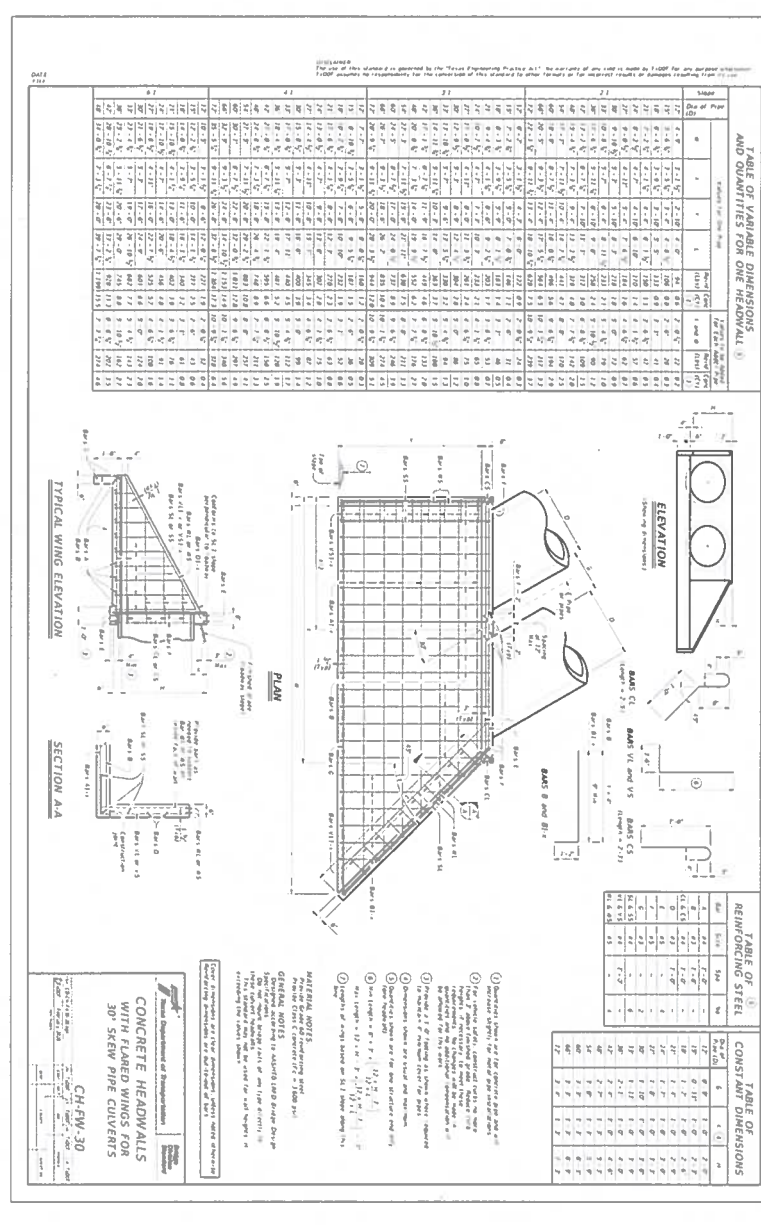
REVISIONS
 DATE OCCURRENCE

PLAN INFORMATION
 PROJECT NO. PRB-23001
 FILENAME PRB23001-D1.DWG
 CHECKED BY DAA
 DRAWN BY DJ
 SCALE N.T.S.
 DATE 03.04.2024

WATER STANDARD DETAILS
C8.10

1. STORM DRAIN GENERAL NOTES

1. All construction shall be in accordance with the approved plans and specifications for this project.
2. All materials shall be of the highest quality and shall conform to the specifications of the American Institute of Steel Construction, Inc. (AISC) and the American Concrete Institute (ACI).
3. All steel shall be AISC A36 or A572 Gr. 50, unless otherwise specified.
4. All concrete shall be ACI 23.1-11, unless otherwise specified.
5. All reinforcement shall be AISC A615 Gr. 60, unless otherwise specified.
6. All steel connections shall be in accordance with the AISC Manual of Steel Construction, Part 8.
7. All concrete connections shall be in accordance with the ACI 308-11R.
8. All steel and concrete shall be protected against corrosion in accordance with the AISC 308-11R and ACI 308-11R.
9. All steel shall be galvanized in accordance with the AISC 308-11R.
10. All concrete shall be finished in accordance with the ACI 308-11R.
11. All steel and concrete shall be installed in accordance with the approved plans and specifications.
12. All steel and concrete shall be installed in accordance with the approved plans and specifications.
13. All steel and concrete shall be installed in accordance with the approved plans and specifications.
14. All steel and concrete shall be installed in accordance with the approved plans and specifications.
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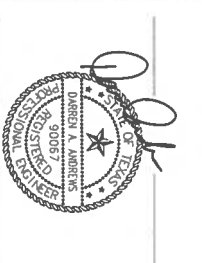


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STORM DRAIN STANDARD DETAILS

PROJECT NO. PRB-23001
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 DATE 03/04/2024

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 DATE DESCRIPTION



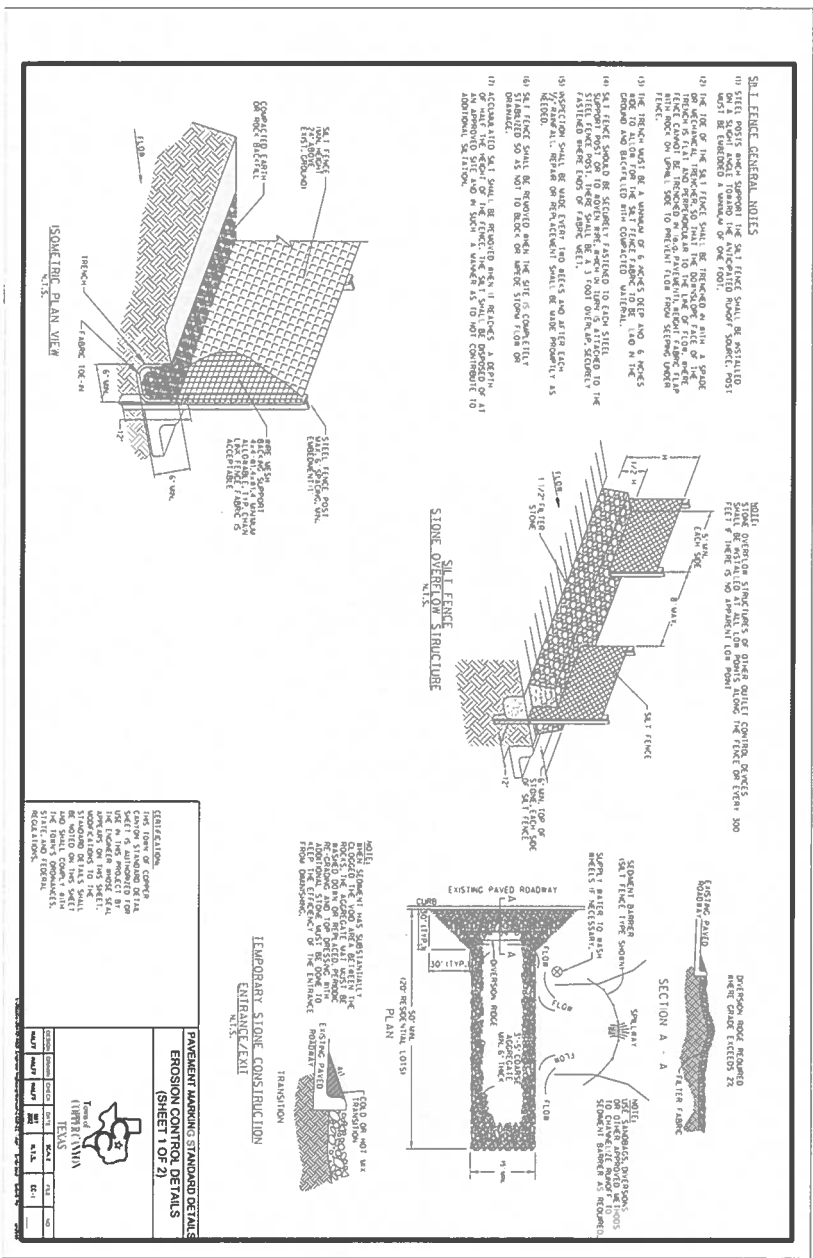
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STORM DRAIN STANDARD DETAILS

C8.20



PRELIMINARY DRAWING - RELEASED FOR CONSTRUCTION

CS.30

EROSION CONTROL STANDARD DETAILS SHEET

PLAN INFORMATION

PROJECT NO. PRB-23001
 FILENAME PRB23001-01.DWG
 CHECKED BY DMA
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 DATE 03.04.2024

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1 03/04/2024 ISSUED FOR PERMIT



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PLAN INFORMATION

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 DRAWN BY DU
 SCALE N.T.S.
 DATE 03.04.2024
 SHEET

SIGNING DETAILS AND TRAFFIC CONTROL NOTES

C8.40



STOP SIGN ASSEMBLY (W/ STREET NAME SIGN ON TOP)

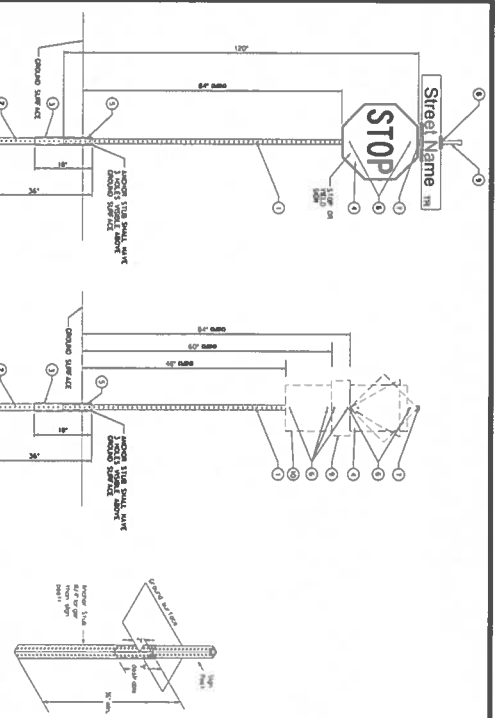
| ITEM NO. | DESCRIPTION | QUANTITY |
|----------|---|----------|
| 1 | 12" x 12" x 1/4" PERFORATED SIGN MOUNTING PLATE | 1 |
| 2 | 12" x 12" x 1/4" PERFORATED SIGN MOUNTING PLATE | 1 |
| 3 | 12" x 12" x 1/4" PERFORATED SIGN MOUNTING PLATE | 1 |
| 4 | 12" x 12" x 1/4" PERFORATED SIGN MOUNTING PLATE | 1 |
| 5 | 12" x 12" x 1/4" PERFORATED SIGN MOUNTING PLATE | 1 |
| 6 | 12" x 12" x 1/4" PERFORATED SIGN MOUNTING PLATE | 1 |
| 7 | 12" x 12" x 1/4" PERFORATED SIGN MOUNTING PLATE | 1 |
| 8 | 12" x 12" x 1/4" PERFORATED SIGN MOUNTING PLATE | 1 |
| 9 | 12" x 12" x 1/4" PERFORATED SIGN MOUNTING PLATE | 1 |
| 10 | 12" x 12" x 1/4" PERFORATED SIGN MOUNTING PLATE | 1 |

TRAFFIC SIGN ASSEMBLY

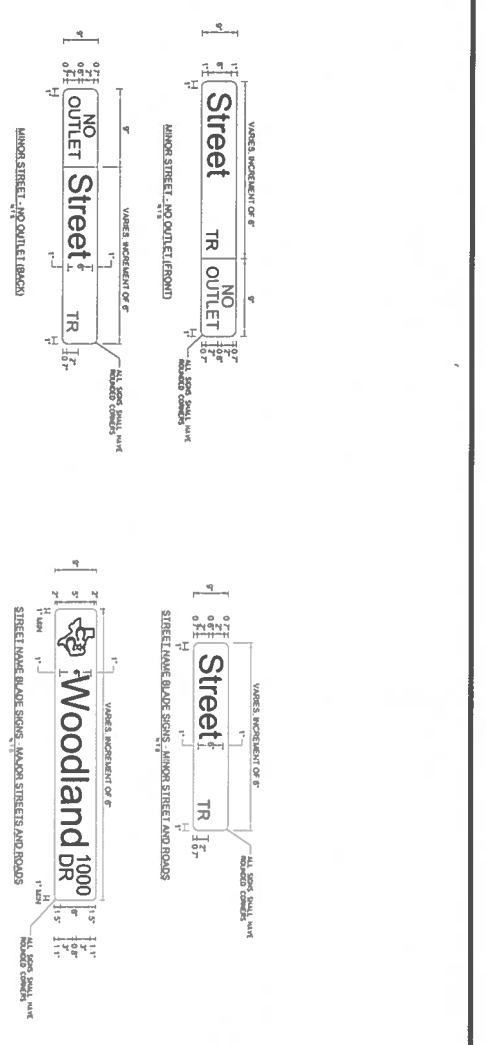
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PAVEMENT STANDARD DETAILS & TRAFFIC CONTROL NOTES

STATEMENTS:
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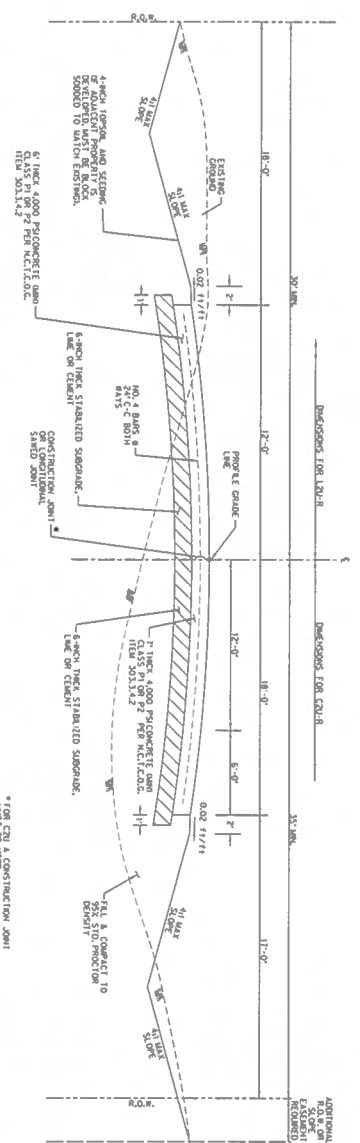


- BEFORE CONTROL DETAILS**
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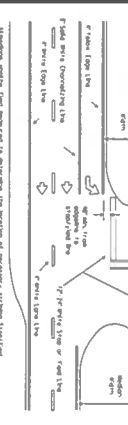
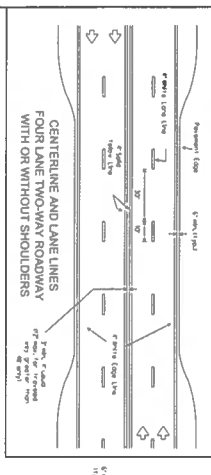
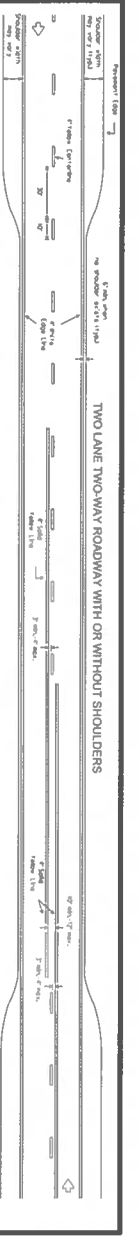


**REINFORCED CONCRETE PAVING STANDARDS
LOCAL RESIDENTIAL & COLLECTOR STREETS - RURAL
L2UR & C2UR
N.T.S.**

- NOTES:
1. SEE PLAN FOR ALL DIMENSIONS AND CENTER LINE SHOWN ON
2. ALL UTILITIES AND SERVICES
3. SEE SIDEWALK DETAILS FOR
4. THE REINFORCING SHALL BE REBAR
5. THE REINFORCING SHALL BE REBAR

PAVEMENT DETAILS
LOCAL RESIDENTIAL & COLLECTOR STREETS - RURAL

| ITEM | DESCRIPTION | QUANTITY | UNIT | PRICE | TOTAL |
|------|-----------------|----------|-------|-------|-------|
| 1 | CONCRETE PAVING | 1.00 | CY | 1.00 | 1.00 |
| 2 | REINFORCEMENT | 1.00 | LB | 1.00 | 1.00 |
| 3 | FORMWORK | 1.00 | SQ YD | 1.00 | 1.00 |
| 4 | ADDITIONAL | 1.00 | UNIT | 1.00 | 1.00 |



FOUR LANE DIVIDED ROADWAY INTERSECTIONS

THREE LANE TWO-WAY ROADWAY WITH OR WITHOUT SHOULDERS

**CENTERLINE AND LANE LINES
FOUR LANE TWO-WAY ROADWAY
WITH OR WITHOUT SHOULDERS**

**ROADWAYS WITH REINFORCED SHOULDER
WIDTHS ACROSS BRIDGE OR CULVERT**

YIELD LINES

PAVEMENT MARKING STANDARD DETAILS

TYPICAL STANDARD PAVEMENT MARKINGS

TABLE 1 - TYPICAL LENGTH (L)

| MARKING | LENGTH (L) |
|---------------|------------|
| STOP LINE | 10'-0" |
| EDGE LINE | 10'-0" |
| CENTERLINE | 10'-0" |
| LANE LINE | 10'-0" |
| SHOULDER LINE | 10'-0" |

PRELIMINARY DRAWING - RELEASED FOR CONSTRUCTION



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REVISIONS
NO. DATE DESCRIPTION

PLAN INFORMATION
PROJECT NO. PRB-23001
FILENAME PRB23001-01.DWG
CHECKED BY DAA
DRAWN BY DJ
SCALE N.T.S.
DATE 03/04/2024
SHEET

**LOCAL RESIDENTIAL
PAVEMENT MARKINGS
C8.50**